

South Texas College  
Board of Trustees  
Facilities Committee  
Ann Richards Administration Building, Board Room  
Pecan Campus  
Tuesday, December 8, 2015  
@ 4:00 PM  
McAllen, Texas

“At anytime during the course of this meeting, the Board of Trustees may retire to Executive Session under Texas Government Code 551.071(2) to confer with its legal counsel on any subject matter on this agenda in which the duty of the attorney to the Board of Trustees under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with Chapter 551 of the Texas Government Code. Further, at anytime during the course of this meeting, the Board of Trustees may retire to Executive Session to deliberate on any subject slated for discussion at this meeting, as may be permitted under one or more of the exceptions to the Open Meetings Act set forth in Title 5, Subtitle A, Chapter 551, Subchapter D of the Texas Government Code.”

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**Approval of November 10, 2015 and November 24, 2015 Facilities Committee Meeting Minutes**

The Minutes for the Facilities Committee meetings of November 10, 2015 and November 24, 2015 are presented for Committee approval.

# Facilities Committee Meeting Minutes November 10, 2015

**South Texas College  
Board of Trustees  
Facilities Committee  
Ann Richards Administration Building, Board Room  
Pecan Campus  
Tuesday, November 10, 2015  
@ 4:00 PM  
McAllen, Texas**

**MINUTES**

The Facilities Committee Meeting was held on Tuesday, November 10, 2015 in the Ann Richards Administration Building Board Room at the Pecan Campus in McAllen, Texas. The meeting commenced at 4:25 p.m. with Mr. Gary Gurwitz presiding.

Members present: Mr. Gary Gurwitz, Dr. Alejo Salinas, Jr., Mr. Paul R. Rodriguez, Ms. Rose Benavidez, Mrs. Graciela Farias, and Mr. Jesse Villarreal

Members absent: Mr. Roy de León

Also present: Dr. Shirley A. Reed, Mr. Chuy Ramirez, Mrs. Mary Elizondo, Dr. David Plummer, Mrs. Wanda Garza, Mr. Ricardo de la Garza, Mr. George McCaleb, Mr. Paul Hernandez, Mr. Cody Gregg, Mr. Jayson Valerio, Mr. Roberto Cueller, Mr. Gilbert Gallegos, Ms. Diana Bravos Gonzalez, Mr. Rolando Garcia, Mr. Hugh Cronin, Mr. Rene Gonzalez, Mr. David Perez, Mr. Ramiro Gutierrez, Mr. Ben Macias, Mr. Raul Cabaza, III, and Mr. Andrew Fish

**Approval of October 6, 2015 and October 7, 2015 Facilities Committee Meeting Minutes**

Upon a motion by Ms. Rose Benavidez and a second by Mrs. Graciela Farias, the Minutes for the Facilities Committee meetings of October 6, 2015 and October 7, 2015 were approved as written. The motion carried.

**Update on Status of 2013 Bond Construction Program**

The packet included a copy of the presentation prepared by Broaddus & Associates as an update on the status of the 2013 Bond Construction Program. Mr. Gilbert Gallegos from Broaddus & Associates attended the November 10, 2015 Board Facilities Committee meeting and provided the update.



### **Review and Recommend Action on Solicitation of Request for Qualifications (RFQ) for Architectural Design Services for the 2013 Bond Construction Regional Center for Public Safety Excellence**

Approval to solicit architectural design services for the 2013 Bond Construction Regional Center for Public Safety Excellence will be requested at the November 24, 2015 Board meeting.

#### **Purpose**

Authorization was requested to solicit for architectural design services for the 2013 Bond construction of the Regional Center for Public Safety Excellence.

#### **Justification**

Solicitation of Request of Qualifications (RFQ) for architectural design services was necessary to be able to procure a design team to provide design services. Once the RFQ's were received, an evaluation team would evaluate the RFQ's using the currently approved procurement process and would recommend a design team to the Facilities Committee at a later date.

#### **Background**

On August 22, 2014, RFQ submittals were received for design services for the 2013 Bond Construction Program. At the September 11, 2014 Facilities Committee meeting, the Committee postponed the recommendation of an architectural firm for the Regional Center for Public Safety Excellence project pending a site location. It was recommended to re-solicit for architectural design services for this project due to the following reasons:

- No selection was made during the original procurement phase
- A year has passed since the initial Request for Qualifications
- Project scope has been increased

#### **Funding Source**

Funds for these expenditures were budgeted in the bond construction budget for FY 2015-2016. Additional funding may be identified from other sources.

Upon a motion by Mr. Paul R. Rodriguez and a second by Ms. Rose Benavidez, the Facilities Committee recommended Board approval of the solicitation of architectural design services for the 2013 Bond Construction Regional Center for Public Safety Excellence as presented. The motion carried.

### **Review and Recommend Action on Solicitation of Request for Qualifications (RFQ) for Civil Engineering Services for the 2013 Bond Construction Regional Center for Public Safety Excellence Parking and Site Improvements**

Approval to solicit civil design services for the 2013 Bond Construction Regional Center for Public Safety Excellence Parking and Site Improvements will be requested at the November 24, 2015 Board meeting.

### **Purpose**

Authorization was requested to solicit for civil engineering services for the 2013 Bond construction of the Regional Center for Public Safety Excellence Parking and Site Improvements.

### **Justification**

Solicitation of Request of Qualifications (RFQ) for civil engineering services was necessary to be able to procure a civil engineering team to provide design services. Once the RFQ's were received, an evaluation team would evaluate the RFQ's using the currently approved procurement process and would recommend a design team to the Facilities Committee at a later date.

### **Background**

On September 23, 2014, RFQ submittals were received for civil engineering services for the 2013 Bond Construction Program. At the November 13, 2014 Board meeting, the Committee excluded the recommendation of a civil engineer for the Regional Center for Public Safety Excellence Parking and Site Improvements because a site had not yet been identified. It is recommended to re-solicit for civil engineering services for this project due to the following reasons:

- No selection was made during the original procurement phase
- A year has passed since the initial Request for Qualifications
- Project scope has been increased

### **Funding Source**

Funds for these expenditures were budgeted in 2013 Bond Construction budget for this project. Additional funding may be identified from other sources.

Upon a motion by Mr. Paul R. Rodriguez and a second by Dr. Alejo Salinas, Jr., the Facilities Committee recommended Board approval of the solicitation of civil engineering services for the 2013 Bond Construction Regional Center for Public Safety Excellence Parking and Site Improvements as presented. The motion carried.

## **Review and Recommend Action on Contracting Civil Engineering Services for the Pharr Property Subdivision Plat**

Approval to contract civil engineering services for the Pharr Property Subdivision Plat will be requested at the November 24, 2015 Board meeting.

### **Purpose**

The procurement of a civil engineer for the Pharr property was necessary for the preparation of a subdivision plat required prior to construction of any new facilities.

### **Justification**

In order for the City of Pharr to authorize future construction projects on the proposed Pharr property, a subdivision plat must be prepared and recorded with the City of Pharr and Hidalgo County. The procurement of a civil engineer would allow for the engineer to work with staff and city departments to prepare a subdivision plat.

## Background

South Texas College was working with the City of Pharr and Pharr-San Juan-Alamo ISD in acquiring the property in Pharr for the Regional Center for Public Safety Excellence.

In order to proceed with the platting services, staff recommended contracting civil engineering services.

Four civil engineering firms listed below were previously approved by the Board at the March 31, 2015 Board meeting for one year to provide professional services as needed for projects under \$500,000.

1. Halff Associates, Inc.
2. Melden & Hunt
3. Perez Consulting Engineering
4. R. Gutierrez Engineering

Based on the following criteria, Halff Associates was recommended to provide civil engineering services for this project.

Criteria:

- Previous experience with preparation of subdivision plats
- Familiarity with city and county requirements
- Familiarity with the college's standards

## Funding Source

Funds were available in the FY 2015-2016 construction budget.

Project Budget		
Budget Components	Amount Budgeted	Actual Cost
Design	\$30,000	Actual design fees are estimated and will be finalized during contract negotiations.

## Enclosed Documents

The packet included a site plan of the proposed area in Pharr.

Upon a motion by Dr. Alejo Salinas, Jr. and a second by Mrs. Graciela Farias, the Facilities Committee recommended Board approval to contract civil engineering services with Halff Associates for the preparation of the Pharr property subdivision plat as presented. The motion carried.

## Review and Recommend Action on Schematic Design of the 2013 Bond Construction Nursing & Allied Health Campus Parking and Site Improvements

Approval of schematic design by R. Gutierrez Engineering for the 2013 Bond Construction Nursing & Allied Health Campus Parking and Site Improvements project will be requested at the November 24, 2015 Board meeting.

## **Purpose**

Schematic design is the first phase of basic design services provided by the project design team. In this phase, the design team prepared schematic drawings based on the Owner's project program and design meetings with staff. The approval of this phase was necessary to establish the basis on which the project design team was given authorization to proceed with design development and construction document phases.

## **Justification**

Once schematic design was approved, R. Gutierrez Engineering would proceed to prepare all necessary design development drawings and specifications in preparation for the construction documents phase using STC design standards as well as all applicable codes and ordinances. The phases of a construction project are as follows: 1.) Schematic Design, 2.) Design Development, 3.) Construction Documents, 4.) Guaranteed Maximum Price, 5.) Construction, and 6.) Closeout

The Construction Manager-at-Risk provides preconstruction services during the design processes leading to the construction phase. A Guaranteed Maximum Price (GMP) will then be developed and will be presented to the Facilities Committee for review at a future date.

## **Background**

As previously authorized by the Board of Trustees, R. Gutierrez Engineering began working with Broaddus & Associates, Facilities Planning & Construction, and STC staff to develop parking and site plans. At the October Facilities Committee Meeting, the Committee requested that the project team meet with the City of McAllen to discuss alternative options for providing a delivery service drive and possibly using the adjacent access road. The design team met with the City of McAllen and discussed various options. It was ultimately recommended that the use of semi-truck trailers should not be allowed for deliveries at this facility. This would allow for a service drive that would eliminate the need for large turning requirements. R. Gutierrez Engineers have designed a revised layout implementing this recommendation. In addition, staff was discussing with Texas A&M University the possibility of allowing the college the use of their access drive located at the southeast portion of the property. This access will be indicated as an alternate on the schematic design plan pending approval by Texas A&M University.

The proposed Nursing & Allied Health Campus Parking and Site Improvements project was part of the 2013 Bond Construction Program and included the following scope:

- **Engineer**
  - R. Gutierrez Engineering
- **Construction Manager-at-Risk**
  - D. Wilson Construction Company
- **Construction Cost Limitation (CCL)**
  - \$1,100,000
- **Program Scope**
  - 203 Parking Spaces which includes 11 ADA parking spaces

- Drives, Sidewalks, Student and Bus Drop Off Areas
- Infrastructure Improvements
- Landscaping and Irrigation
- Grading

### **Funding Source**

The current Construction Cost Limitation (CCL) was \$1,100,000 and would be adjusted once the Guaranteed Maximum Price (GMP) proposals were submitted by the Construction Manager-at-Risk to be presented to the Board for approval. Bond funds were budgeted in the Bond Construction budget for fiscal year 2015-2016.

### **Reviewers**

The proposed schematic design was reviewed by Broaddus & Associates and staff from Facilities Planning & Construction, Operations and Maintenance, Administration, Technology Resources departments, and Campus Coordinator.

### **Enclosed Documents**

R. Gutierrez Engineering developed a schematic presentation describing the proposed design.

### **Presenters**

Representatives from Broaddus & Associates and R. Gutierrez Engineering attended the Facilities Committee meeting to present the schematic design of the proposed parking and site improvements.

The Committee asked the engineer to follow up further with A&M University regarding permission to cross a 10' utility easement, which would allow a delivery and/or parking lot entrance to be built at the south west end of campus.

The Committee also asked the engineer to redesign the bus parking and circular drop-off drive to accommodate large busses, including the JagExpress. The Committee clarified that the engineer may be able to accommodate this request by encroaching on existing greenspace that is reserved for a future building, but for which no immediate building plans are developed.

Due to the concerns above, no action was taken and this item was scheduled for presentation again to the Facilities Committee on Tuesday, November 24, 2015.

## **Review and Recommend Action on Schematic Design of the 2013 Bond Construction Pecan Campus Parking and Site Improvements**

Approval of schematic design by Perez Consulting Engineers for the 2013 Bond Construction Pecan Campus Parking and Site Improvements project for all four new bond buildings, will be requested at the November 24, 2015 Board meeting.

### **Purpose**

Schematic design is the first phase of basic design services provided by the project design team. In this phase, the design team prepared schematic drawings based on the Owner's project program and design meetings with staff. The approval of this phase was

necessary to establish the basis on which the project design team was given authorization to proceed with design development and construction document phases.

### **Justification**

Once schematic design was approved, Perez Consulting Engineers would proceed to prepare all necessary design development drawings and specifications in preparation for the construction documents phase using STC design standards as well as all applicable codes and ordinances. The phases of a construction project are as follows: 1.) Schematic Design, 2.) Design Development, 3.) Construction Documents, 4.) Guaranteed Maximum Price, 5.) Construction, and 6.) Closeout

The Construction Manager-at-Risk provides preconstruction services during the design processes leading to the construction phase. A Guaranteed Maximum Price (GMP) would then be developed and will be presented to the Facilities Committee for review at a future date.

### **Background**

As previously authorized by the Board of Trustees, Perez Consulting Engineers began working with Broaddus & Associates, Facilities Planning & Construction, and STC staff to develop parking and site plans. The proposed Pecan Campus Parking and Site Improvements project was part of the 2013 Bond Construction Program and would provide parking and site improvements for all four new Bond buildings on the Pecan Campus as per the following scope:

- **Engineer**
  - Perez Consulting Engineers
- **Construction Manager-at-Risk**
  - D. Wilson Construction
- **Construction Cost Limitation (CCL)**
  - \$2,000,000
- **Program Scope**
  - 314 Parking Spaces
  - Drives and Sidewalks
  - Infrastructure Improvements
  - Landscaping and Irrigation
  - Grading

### **Funding Source**

The current Construction Cost Limitation (CCL) was \$2,000,000 and would be adjusted once the Guaranteed Maximum Price (GMP) proposals were submitted by the Construction Manager-at-Risk to be presented to the Board for approval. Bond funds were budgeted in the Bond Construction budget for fiscal year 2015-2016.

### **Reviewers**

The proposed schematic design was reviewed by Broaddus & Associates and staff from Facilities Planning & Construction, Operations and Maintenance, Administration, Technology Resources departments, and Campus Coordinator.

### **Enclosed Documents**

Perez Consulting Engineers developed a schematic presentation describing the proposed design. The packet included drawings of the site plans.

### **Presenters**

Representatives from Broaddus & Associates and Perez Consulting Engineers attended the Facilities Committee meeting to present the schematic design of the proposed parking and site improvements.

The Committee asked about a parking lot designed to accommodate 314 parking vehicles and which had only two entries/exits on the perimeter drive. The engineers expressed the opinion that this design would allow congestion of merging traffic to remain contained primarily within the parking lot, rather than contributing to congestion of the perimeter drive. Additional entries/exits into the perimeter drive may add to the congestion of campus traffic coming to or from the Pecan Street entrance.

The engineers further offered that additional entries/exists could be cut into the lot in the future should traffic patterns or future developments require it.

Upon a motion by Mrs. Graciela Farias and a second by Mr. Jesse Villarreal, the Facilities Committee recommended Board approval of the proposed schematic design by Perez Consulting Engineers for the 2013 Bond Construction Pecan Campus Parking and Site Improvements project for all four new bond buildings as presented. The motion carried.

## **Review and Recommend Action on Schematic Design of the 2013 Bond Construction Mid Valley Campus Library Expansion and Renovation**

Approval of schematic design by Mata Garcia Architects for the 2013 Bond Construction Mid Valley Campus Library Expansion and Renovation will be requested at the November 24, 2015 Board meeting.

### **Purpose**

Schematic design is the first phase of basic design services provided by the project design team. In this phase, the design team prepares schematic drawings based on the Owner's project program and design meetings with staff. The approval of this phase was necessary to establish the basis on which the project design team was given authorization to proceed with design development and construction document phases.

### **Justification**

Once schematic design was approved, Mata Garcia Architects would proceed to prepare all necessary design development drawings and specifications in preparation for the construction documents phase using STC design standards as well as all applicable codes and ordinances. The phases of a construction project are as follows: 1.) Schematic

Design, 2.) Design Development, 3.) Construction Documents, 4.) Guaranteed Maximum Price, 5.) Construction, and 6.) Closeout

The Construction Manager-at-Risk provides preconstruction services during the design processes leading to the construction phase. A Guaranteed Maximum Price (GMP) would then be developed and will be presented to the Facilities Committee for review at a future date.

**Background**

As previously authorized by the Board of Trustees, Mata Garcia Architects began working with Broaddus & Associates, Facilities Planning & Construction, and STC staff to develop plans and elevations. At the October 27<sup>th</sup>, 2015 Board meeting, the Board approved incorporating the redesign and renovation of the existing library with the 2013 Bond Construction Mid Valley Campus Library Expansion project. The proposed combined design of the Mid Valley Campus Library Expansion and Renovation project included the following scope:

- **Architect**
  - Mata Garcia Architects
  
- **Construction Manager-at-Risk**
  - D. Wilson Construction

New Bond Expansion	Existing Building Renovation
➤ <b>Construction Cost Limitation (CCL)</b> <ul style="list-style-type: none"> <li>• \$1,750,000</li> </ul>	➤ <b>Estimated Construction Cost Limitation (CCL)</b> <ul style="list-style-type: none"> <li>• \$1,450,000</li> </ul>
➤ <b>Program Scope</b> <ul style="list-style-type: none"> <li>• SQ FT – 10,369</li> <li>• 1 Floor</li> </ul>	➤ <b>Program Scope – Existing Renovation</b> <ul style="list-style-type: none"> <li>• SQ FT – Approx. 19,000</li> <li>• 1 Floor</li> </ul>
<ul style="list-style-type: none"> <li>• <b>Learning Commons</b> <ul style="list-style-type: none"> <li>○ Help Desk</li> <li>○ Tutoring</li> <li>○ Study Rooms / Niches</li> </ul> </li> </ul>	<ul style="list-style-type: none"> <li>• <b>Learning Commons</b> <ul style="list-style-type: none"> <li>○ Circulation Desk</li> <li>○ Book Collection</li> <li>○ Study Rooms</li> <li>○ Quiet Study</li> </ul> </li> </ul>
<ul style="list-style-type: none"> <li>• <b>Support</b> <ul style="list-style-type: none"> <li>○ Toilet Rooms</li> <li>○ Mechanical Electrical</li> <li>○ IDF</li> </ul> </li> </ul>	<ul style="list-style-type: none"> <li>• <b>Bibliograph Instruction Lab</b></li> <li>• <b>Art Gallery</b></li> <li>• <b>Administrative</b> <ul style="list-style-type: none"> <li>○ Conference Room</li> <li>○ Work Areas</li> </ul> </li> </ul>

**Funding Source**

The current Construction Cost Limitation (CCL) was \$1,750,000 for the new bond expansion and would be adjusted once the Guaranteed Maximum Price (GMP) proposals were submitted by the Construction Manager-at-Risk to be presented to the Board for approval. Bond funds were budgeted in the Bond Construction budget for fiscal year 2015-2016.

A cost of \$1,450,000 was estimated for the existing building renovation. Funding options were considered from the non-bond construction budget or possible bond construction project savings.



### **Reviewers**

The proposed schematic design was reviewed by Broaddus & Associates and staff from Facilities Planning & Construction, Operations and Maintenance, Administration, Academic Staff, Instructional Technologies, Technology Resources departments, and Coordinated Operations Council.

### **Enclosed Documents**

Mata Garcia Architects developed a schematic presentation describing the proposed design. The packet included drawings of the site plan, floor plans, and exterior views.

### **Presenters**

Representatives from Broaddus & Associates and Mata Garcia Architects attended the Facilities Committee meeting to present the schematic design of the proposed expansion project.

Concerns were expressed about the proposed colors and the patterns used in the rendering and asked for alternate options to be presented.

Upon a motion by Ms. Rose Benavidez and a second by Mr. Jesse Villarreal, the Facilities Committee recommended Board approval of the proposed schematic design of the 2013 Bond Construction Mid Valley Campus Library Expansion and Renovation as presented. The motion carried.

## **Review and Recommend Action on Schematic Design of the 2013 Bond Construction Starr County Campus Student Activities Building Expansion**

Approval of schematic design by Mata Garcia Architects for the 2013 Bond Construction Starr County Campus Student Activities Building will be requested at the November 24, 2015 Board meeting.

### **Purpose**

Schematic design is the first phase of basic design services provided by the project design team. In this phase, the design team prepares schematic drawings based on the Owner's project program and design meetings with staff. The approval of this phase was necessary to establish the basis on which the project design team was given authorization to proceed with design development and construction document phases.

### **Justification**

Once schematic design was approved, Mata Garcia Architects would proceed to prepare all necessary design development drawings and specifications in preparation for the construction documents phase using STC design standards as well as all applicable codes and ordinances. The phases of a construction project are as follows: 1.) Schematic Design, 2.) Design Development, 3.) Construction Documents, 4.) Guaranteed Maximum Price, 5.) Construction, and 6.) Closeout

The Construction Manager-at-Risk provides preconstruction services during the design processes leading to the construction phase. A Guaranteed Maximum Price (GMP) would then be developed and will be presented to the Facilities Committee for review at a future date.

## **Background**

As previously authorized by the Board of Trustees, Mata Garcia Architects began working with Broaddus & Associates, Facilities Planning & Construction, and STC staff to develop plans and elevations. At the August 11, 2105 Facilities Committee Meeting, a proposed schematic design was presented to the Committee and the Committee asked that the design team review their scope and budget and bring the design back to the Facilities Committee when it was in line with the Board's original request. The design team had since then revised the scope and included the following:

- **Architect**
  - Mata Garcia Architects
  
- **Construction Manager-at-Risk**
  - D. Wilson Construction
  
- **Construction Cost Limitation (CCL)**
  - \$850,000
  
- **Program Scope**
  - SQ FT – 4,150
  - 1 Floor
  
  - **Lobby**
  
  - **Student Event Center**
  
  - **Support Spaces**
    - Storage
    - Mechanical
    - Electrical
    - Fire Riser Room

## **Funding Source**

The current Construction Cost Limitation (CCL) was \$850,000 and would be adjusted once the Guaranteed Maximum Price (GMP) proposals were submitted by the Construction Manager-at-Risk to be presented to the Board for approval. Bond funds will be budgeted in the Bond Construction budget for fiscal year 2015-2016.

## **Reviewers**

The proposed schematic design was reviewed by Broaddus & Associates and staff from Facilities Planning & Construction, Operations and Maintenance, Administration, Academic Staff, Instructional Technologies, Technology Resources departments, and Coordinated Operations Council.

## **Enclosed Documents**

Mata Garcia Architects developed a revised schematic presentation describing the proposed design within the original scope and budget. The packet included drawings of the site plan, floor plans, and exterior views.

### **Presenters**

Representatives from Broaddus & Associates and Mata Garcia Architects attended the Facilities Committee meeting to present the schematic design of the proposed expansion project.

The Committee noted that the design added a room that could accommodate slightly more people than the existing cafeteria in the same building, and asked whether the square footage could be increased to accommodate at least 200 people. The engineer agreed that there were options to extend the expansion to the north and east.

The Construction Program Manager suggested that this could be accomplished at a reasonable cost and possibly even within the original budget. Previous designs that far exceeded the approved budget had included significant infrastructural costs such as plumbing, and these costs were not a factor in the proposed increase to the overall square footage.

Due to the concerns above, no action was taken and this item was scheduled for presentation again to the Facilities Committee on Tuesday, November 24, 2015.

**Due to time constraints the following items were postponed until a special Facilities Committee meeting to be scheduled for Nov. 24, 2015. No deliberation or action was taken on the following agenda items:**

- X. Review and Recommend Action on Solicitation of Request for Proposals (RFP) for Insurance Agent Services to establish an Owner-Controlled Insurance Program for the 2013 Bond Construction Program**
- XI. Review and Recommend Action on Additional Services with Broaddus and Associates for a Wage Scale Determination Survey for the 2013 Bond Construction Program**
- XII. Review and Recommend Action on Final Guaranteed Maximum Price for the 2013 Bond Construction Pecan Campus Thermal Plant Expansion**
- XIII. Review and Recommend Action on Renewal of Classroom Lease Agreement with the City of Hidalgo**
- XIV. Review and Recommend Action on Testing and Balancing Engineering Services for District-Wide Non-Bond Construction Projects**
- XV. Review and Recommend Action on Contracting Construction Services for the Non-Bond Pecan Campus Removal of Existing Trees**
- XVI. Review and Recommend Action on Construction Services for the Non-Bond District-Wide Building to Building ADA Compliance Phase II**

**Review and Recommend Action on Final Completion for the Following Non-Bond Construction Projects**

Approval of final completion for the following projects will be requested at the November 24, 2015 Board meeting:

	<b>Projects</b>	<b>Substantial Completion</b>	<b>Final Completion</b>	<b>Documents Attached</b>
1.	Pecan Campus Art Building Existing Ceramic Arts Interior Renovations  Architect: EGV Architects Contractor: Herrcon	Approved August 2015	Recommended	Final Completion Letter
2.	Nursing & Allied Health Campus Irrigation System Upgrade  Engineer: SSP Design Contractor: Southern Landscapes	Approved October 2015	Recommended	Final Completion Letter
3.	District Wide Parking Lot Lighting Upgrades  Engineer: DBR Engineering Contractor: Metro Electric	Approved September 2015	Recommended	Final Completion Letter

**1. Pecan Campus Art Building Existing Ceramic Arts Interior Renovations**

It was recommended that final completion and release of final payment for this project with Herrcon be approved.

Final Completion including punch list items were accomplished as required in the Owner/Contractor agreement for this project. It was recommended that final completion and release of final payment for this project with Herrcon be approved. The original cost approved for this project was in the amount of \$109,209.

The following chart summarizes the above information:

Construction Budget	Approved Proposal Amount	Net Total Change Orders	Final Project Cost	Previous Amount Paid	Remaining Balance
\$325,000	\$109,209	\$0	\$109,209	\$103,748.55	\$5,460.45

On October 15, 2015, STC Planning & Construction Department staff along with EGV Architects inspected the site to confirm that all punch list items were completed. The packet included a letter from EGV Architects acknowledging all work is complete and recommending release of final payment.

**2. Nursing & Allied Health Campus Irrigation System Upgrade**

It was recommended that final completion and release of final payment for this project with Southern Landscapes be approved.

Final Completion including punch list items were accomplished as required in the Owner/Contractor agreement for this project. It was recommended that final completion and release of final payment for this project with Southern Landscapes be approved. The original cost approved for this project was in the amount of \$37,767.

The following chart summarizes the above information:

Construction Budget	Approved Proposal Amount	Net Total Change Orders	Final Project Cost	Previous Amount Paid	Remaining Balance
\$30,000	\$37,767	\$0	\$37,767	\$26,412.36	\$1,888.37

On September 23, 2015, STC Planning & Construction Department staff along with SSP Design inspected the site to confirm that all punch list items were completed. The packet included a letter from SSP Design acknowledging all work is complete and recommending release of final payment.

**3. District-Wide Parking Lot Lighting Upgrades**

It was recommended that final completion and release of final payment for this project with Metro Electric be approved.

Final Completion including punch list items were accomplished as required in the Owner/Contractor agreement for this project. It was recommended that final completion and release of final payment for this project with Metro Electric be approved. The original cost approved for this project was in the amount of \$50,691.

The following chart summarizes the above information:

Construction Budget	Approved Proposal Amount	Net Total Change Orders	Final Project Cost	Previous Amount Paid	Remaining Balance
\$100,000	\$50,691	\$0	\$50,691	\$48,156.45	\$2,534.55

On September 30, 2015, STC Planning & Construction Department staff along with DBR Engineering inspected the site to confirm that all punch list items were completed. The packet included a letter from DBR Engineering acknowledging all work is complete and recommending release of final payment.

Upon a motion by Mr. Paul R. Rodriguez and a second by Mrs. Graciela Farias, the Facilities Committee recommended Board approval of the final completion and release of retainage of the projects as presented.

**Due to time constraints the following items were postponed until a special Facilities Committee meeting to be scheduled for Nov. 24, 2015. No deliberation or action was taken on the following agenda items:**

- XXVIII. Update on Status of Non-Bond Construction Projects**
- XXIX. Discussion and Recommendation of District-Wide Building Names**
- XXX. Discussion and Action as Necessary Regarding Contracts for Geotechnical and Construction Materials Testing Services for the 2013 Bond Construction Program**

### **Adjournment**

There being no further business to discuss, the Facilities Committee Meeting of the South Texas College Board of Trustees adjourned at 6:24 p.m.

I certify that the foregoing are the true and correct minutes of the November 10, 2015 Facilities Committee Meeting of the South Texas College Board of Trustees.

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Mr. Gary Gurwitz, Chair

# Facilities Committee Meeting Minutes November 24, 2015

**South Texas College  
Board of Trustees  
Facilities Committee  
Ann Richards Administration Building, Board Room  
Pecan Campus  
Tuesday, November 24, 2015  
@ 2:00 PM  
McAllen, Texas**

**MINUTES**

The Facilities Committee Meeting was held on Tuesday, November 24, 2015 in the Ann Richards Administration Building Board Room at the Pecan Campus in McAllen, Texas. The meeting commenced at 2:03 p.m. with Mr. Gary Gurwitz presiding.

Members present: Mr. Gary Gurwitz, Dr. Alejo Salinas, Jr., Mr. Paul R. Rodriguez, Ms. Rose Benavidez, Mrs. Graciela Farias, and Mr. Jesse Villarreal

Members absent: Mr. Roy de León

Also present: Dr. Shirley A. Reed, Mr. Chuy Ramirez, Mrs. Mary Elizondo, Mr. Ricardo de la Garza, Mr. Gilbert Gallegos, Ms. Diana Bravos Gonzalez, Mr. Rolando Garcia, Mr. Ramiro Gutierrez, Mr. Hector Garcia, Mr. Trey Murray, and Mr. Andrew Fish

**Review and Recommend Action on Schematic Design of the 2013 Bond  
Construction Nursing & Allied Health Campus Parking and Site Improvements**

Approval of schematic design by R. Gutierrez Engineering for the 2013 Bond Construction Nursing & Allied Health Campus Parking and Site Improvements project will be requested at the November 24, 2015 Board meeting.

**Purpose**

Schematic design is the first phase of basic design services provided by the project design team. In this phase, the design team prepares schematic drawings based on the Owner's project program and design meetings with staff. The approval of this phase is necessary to establish the basis on which the project design team is given authorization to proceed with design development and construction document phases.

**Justification**

Once schematic design is approved, R. Gutierrez Engineering will proceed to prepare all necessary design development drawings and specifications in preparation for the construction documents phase using STC design standards as well as all applicable codes and ordinances. The phases of a construction project are as follows: 1.) Schematic Design, 2.) Design Development, 3.) Construction Documents, 4.) Guaranteed Maximum Price, 5.) Construction, and 6.) Closeout



The Construction Manager-at-Risk provides preconstruction services during the design processes leading to the construction phase. A Guaranteed Maximum Price (GMP) will then be developed and will be presented to the Facilities Committee for review at a future date.

### **Background**

As previously authorized by the Board of Trustees, R. Gutierrez Engineering began working with Broaddus & Associates, Facilities Planning & Construction, and STC staff to develop parking and site plans.

At the October Facilities Committee Meeting, the Committee requested that the project team meet with the City of McAllen to discuss alternative options for providing a delivery service drive and possibly using the adjacent access road. The design team met with the City of McAllen and discussed various options. It was ultimately recommended that the use of semi-truck trailers should not be allowed for deliveries at this facility. This would allow for a service drive that would eliminate the need for large turning requirements. R. Gutierrez Engineers have designed a revised layout implementing this recommendation.

In addition, staff was awaiting a response from Texas A&M University regarding the possibility of allowing the college the use of their access drive located at the southeast portion of the property. This access would be indicated as an alternate on the schematic design plan pending approval by Texas A&M University.

At the November 10, 2015 Facilities Committee meeting, the committee requested a revision of the bus parking area location. The engineers developed a plan that included a large circular drive that could accommodate bus traffic, as well as room for buses to drop-off/pick-up passengers.

The proposed Nursing & Allied Health Campus Parking and Site Improvements project was part of the 2013 Bond Construction Program and included the following scope:

- **Engineer**
  - R. Gutierrez Engineering
- **Construction Manager-at-Risk**
  - D. Wilson Construction Company
- **Construction Cost Limitation (CCL)**
  - \$1,100,000
- **Program Scope**
  - 203 Parking Spaces which includes 11 ADA parking spaces
  - Drives, Sidewalks, Student and Bus Drop-Off Areas
  - Infrastructure Improvements
  - Landscaping and Irrigation
  - Grading

### **Funding Source**

The current Construction Cost Limitation (CCL) was \$1,100,000 and would be adjusted once the Guaranteed Maximum Price (GMP) proposals were submitted by the Construction Manager-at-Risk to be presented to the Board for approval. Bond funds were budgeted in the Bond Construction budget for fiscal year 2015-2016.

### **Reviewers**

The proposed schematic design as reviewed by Broaddus & Associates and staff from Facilities Planning & Construction, Operations and Maintenance, Administration, Technology Resources departments, and Campus Coordinator.

### **Enclosed Documents**

R. Gutierrez Engineering developed a schematic presentation describing the proposed design.

### **Presenters**

Representatives from Broaddus & Associates and R. Gutierrez Engineering attended the Facilities Committee meeting to present the schematic design of the proposed parking and site improvements.

Upon a motion by Mr. Paul R. Rodriguez and a second by Dr. Alejo Salinas, Jr., the Facilities Committee recommended Board approval of the proposed schematic design by R. Gutierrez Engineering for the 2013 Bond Construction Nursing & Allied Health Campus Parking and Site Improvements project as presented. The motion carried.

## **Review and Recommend Action on Schematic Design of the 2013 Bond Construction Starr County Campus Student Activities Building Expansion**

Approval of schematic design by Mata Garcia Architects for the 2013 Bond Construction Starr County Campus Student Activities Building will be requested at the November 24, 2015 Board meeting.

### **Purpose**

Schematic design is the first phase of basic design services provided by the project design team. In this phase, the design team prepares schematic drawings based on the Owner's project program and design meetings with staff. The approval of this phase is necessary to establish the basis on which the project design team is given authorization to proceed with design development and construction document phases.

### **Justification**

Once schematic design is approved, Mata Garcia Architects will proceed to prepare all necessary design development drawings and specifications in preparation for the construction documents phase using STC design standards as well as all applicable codes and ordinances. The phases of a construction project are as follows: 1.) Schematic Design, 2.) Design Development, 3.) Construction Documents, 4.) Guaranteed Maximum Price, 5.) Construction, and 6.) Closeout

The Construction Manager-at-Risk provides preconstruction services during the design processes leading to the construction phase. A Guaranteed Maximum Price (GMP) will

then be developed and will be presented to the Facilities Committee for review at a future date.

## **Background**

As previously authorized by the Board of Trustees, Mata Garcia Architects began working with Broaddus & Associates, Facilities Planning & Construction, and STC staff to develop plans and elevations. At the August 11, 2105 Facilities Committee Meeting, a proposed schematic design was presented to the Committee and the Committee asked that the design team review their scope and budget and bring the design back to the Facilities Committee when it was in line with the Board's original request.

At the November 10, 2015 Facilities Committee meeting, the Committee asked the architects to increase the square footage of the Student Event Center to accommodate 200 guests. The design team revised the scope as requested and included the following:

- **Architect**
  - Mata Garcia Architects
  
- **Construction Manager-at-Risk**
  - D. Wilson Construction
  
- **Construction Cost Limitation (CCL)**
  - \$850,000
  
- **Program Scope**
  - SQ FT – 5,150
  - 1 Floor
  
- **Lobby**
  
- **Student Event Center**
  
- **Support Spaces**
  - Storage
  - A/V Storage
  - Mechanical
  - Electrical
  - Fire Riser Room

## **Funding Source**

The current Construction Cost Limitation (CCL) was \$850,000 and would be adjusted once the Guaranteed Maximum Price (GMP) proposals were submitted by the Construction Manager-at-Risk to be presented to the Board for approval. Bond funds were budgeted in the Bond Construction budget for fiscal year 2015-2016.

## **Reviewers**

The proposed schematic design was reviewed by Broaddus & Associates and staff from Facilities Planning & Construction, Operations and Maintenance, Administration,

Academic Staff, Instructional Technologies, Technology Resources departments, and Coordinated Operations Council.

### **Enclosed Documents**

Mata Garcia Architects developed a revised schematic presentation describing the proposed design within the original scope and budget. The packet included drawings of the site plan, floor plans, and exterior views.

### **Presenters**

Representatives from Broaddus & Associates and Mata Garcia Architects attended the Facilities Committee meeting to present the schematic design of the proposed expansion project.

Upon a motion by Ms. Rose Benavidez and a second by Mrs. Graciela Farias, the Facilities Committee recommended Board approval of the proposed schematic design of the 2013 Bond Construction Starr County Campus Student Activities Building Expansion as presented. The motion carried.

### **Review and Recommend Action on Solicitation of Request for Proposals (RFP) for Insurance Agent Services to establish an Owner-Controlled Insurance Program for the 2013 Bond Construction Program**

This item was skipped because the consultant was not available to review the Owner-Controlled Insurance Program at this time. This presentation was postponed for a subsequent meeting.

### **Review and Recommend Action on Additional Services with Broaddus and Associates for a Wage Scale Determination Survey for the 2013 Bond Construction Program**

Approval of additional services with Broaddus & Associates for a Wage Scale Determination Survey for the 2013 Bond Construction Program will be requested at the November 24, 2015 Board meeting.

### **Purpose**

A Wage Scale Determination Survey was needed to establish legitimate prevailing wages associated with the various construction worker classifications.

### **Justification**

The requirement to enforce Prevailing Wages is detailed in Texas Government Code, Title 10, Chapter 2258 – Prevailing Wage Rates (referenced in Article III of STC's UGCs). In summary, the Code mandates that localities pay prevailing wage rates for public construction projects or face monetary penalty. The Code defines the method for determining prevailing wages as either by a survey or adoption of the Davis-Bacon (DB) Act determined rates. Many states throughout the US conduct Prevailing Wage Determining Surveys annually, however, Texas does not.

The consequences of relying on DB wage determinations (common practice in the Valley) are severe, but most notably to owners is the cost impact. Locally applied DB wage rates are, on average, 36% higher than the mean wage data for identical trades, as collected by the Texas Workforce Commission for the Rio Grande Valley. The range of disparity when using DB is significant and just a few key examples of the higher rates are; Masons 23% higher, Carpenters 17% higher, Electricians 46% higher, and Plumbers 180% higher.

### **Background**

Broaddus & Associates successfully conducted or assisted with similar studies at two other higher education in Texas and had the knowledge and available resources to produce a comprehensive survey. Broaddus & Associates initially submitted a proposal in the amount of \$89,088 for these additional services. After further discussion and negotiations, Broaddus & Associates submitted a revised proposal in the amount of \$81,620. The proposal anticipated completion of the survey within four (4) months from initiation.

### **Funding Source**

Funds were available in the FY 2015-2016 Bond Construction Program management fund.

### **Enclosed Documents**

A proposal dated November 17, 2015 from Broaddus and Associates was included in the packet.

### **Presenters**

Representatives from Broaddus & Associates attended the Facilities Committee meeting to address any questions related to the wage scale determination survey.

The Committee instructed Broaddus & Associates to discuss proprietary rights to the survey data to allow the College to share this information with other public entities in Hidalgo and Starr counties, while recouping reasonable fees toward the cost of conducting the study.

Upon a motion by Ms. Rose Benavidez and a second by Mrs. Graciela Farias, the Facilities Committee recommended Board approval to contract additional services with Broaddus & Associates in the amount of \$81,620, which included reimbursable expenses, for a Wage Scale Determination Survey for the 2013 Bond Construction Program as presented. The motion carried.

### **Review and Recommend Action on Final Guaranteed Maximum Price for the 2013 Bond Construction Pecan Campus Thermal Plant Expansion**

Approval of the Final Guaranteed Maximum Price (GMP) for the 2013 Bond Construction Pecan Campus Thermal Plant will be requested at the November 24, 2015 Board meeting.

### **Purpose**

Authorization was requested to approve the final GMP for the Pecan Campus Thermal Plant Expansion.

### **Justification**

A Guaranteed Maximum Price was the method used by the Construction Manager-at-Risk (CM@R) to present their proposed construction cost to provide the Owner with a complete and functioning building.

### **Background**

On September 10<sup>th</sup>, 2015, the Board approved the Partial GMP for the Pecan Campus Thermal Plant in the amount of \$318,139. The approval of a partial GMP was necessary at that time to meet the scheduled date of completion for this project. Since then, the Construction Manager-at-Risk (CMR) received the necessary construction documents from the Engineer to develop the final GMP in the amount of \$3,437,000, which included the initial partial GMP.

The initial project budget included the cost of two chillers, which were removed from the GMP to be purchased through volume procurement. Broaddus & Associates estimated that the volume procurement of both chillers would cost approximately \$500,000. The final GMP plus the purchase of two chillers totaled to \$3,937,000, which was expected to be within the current Construction Cost Limitation (CCL) of \$4,300,000.

Two construction alternates included in the GMP Schedule of Values were also presented to the Facilities Committee on November 24, 2015. The alternates were for construction elements that were not within in the original 2013 Bond Construction Program scope. These elements included a screening enclosure and a framework to assist in safe maintenance, and were added during the initial design phase. They were subsequently included in the Board-approved schematic design to allow pricing in the GMP. Because these elements would exceed the CCL, they were included as alternates. Broaddus & Associates determined there would be sufficient contingency funds available to include both alternates with Board approval.

<b>Construction</b>	<b>Cost</b>
GMP (including partial)	<b>\$3,437,000</b>
2 Chillers (estimated bulk procurement)	<b><u>\$500,000</u></b>
<b>Proposed Total:</b>	<b><u>\$3,937,000</u></b>
Alternate 1 – Enclosure Structure	<b>\$616,000</b>
Alternate 2 – Add Center Framing	<b><u>\$141,000</u></b>
<b>Proposed Total w/ Alternates:</b>	<b>\$4,694,000</b>
<b>Construction Cost Limitation (CCL):</b>	<b><u>\$4,300,000</u></b>
<b>Deficit (Source-Contingency Funds):</b>	<b><u>\$394,000</u></b>

### **Funding Source**

Funds for these expenditures were budgeted in the 2013 Bond construction budget for FY 2015-2016.

### **Reviewers**

The Final GMP was reviewed by Broaddus & Associates and its Cost Control Manager, Joseph Gonzalez, concurred with the pricing as presented in the Construction Manager-at-Risk proposal.

### **Enclosed Documents**

A Final GMP submitted by D. Wilson Construction Company was enclosed in the prescribed form provided by Broaddus & Associates and was included as an exhibit to the contract between South Texas College and D. Wilson Construction Company. Also enclosed were schematic floor plans and exterior elevations for the cooling tower yard.

### **Presenters**

Representatives from Broaddus & Associates, Halff Associates, and D. Wilson Construction Company attended the Facilities Committee meeting to present the submitted Final GMP.

The Committee asked for further information about the construction alternates. The engineer provided details on the specifications and maintenance of the chillers in use to demonstrate the added value to the College in building both alternates. Primarily – the enclosure would provide screening of the towers, which would be situated in the new “heart” of the Pecan Campus after the completion of the 2013 Bond Construction Program projects; the center framing provided for safe and efficient maintenance and cleaning of the towers, since the enclosure would prevent the use of a rented boom/power washer that was currently implemented twice annually.

Upon a motion by Dr. Alejo Salinas, Jr. and a second by Mrs. Graciela Farias, the Facilities Committee recommended Board approval of the final guaranteed maximum price (GMP) in the amount of \$3,437,000 for the 2013 Bond Construction Pecan Campus Thermal Plant as presented. The motion carried.

### **Review and Recommend Action on Renewal of Classroom Lease Agreement with the City of Hidalgo**

Approval of the classroom lease agreement with the City of Hidalgo for use of the Hidalgo Border Security Training Center by South Texas College will be requested at the November 24, 2015 Board meeting.

### **Purpose**

Authorization was requested to renew the current classroom lease agreement to continue providing space for use by the Continuing Education and Criminal Justice Department.

### **Justification**

The continuation of the lease of this facility was needed to accommodate programs with specific needs for continuing education and criminal justice courses offered by South Texas College.

### **Background**

The City of Hidalgo was awarded a federal Economic Development Administration grant for the construction of a Border Security Training Center which was built in the City of Hidalgo. Additionally, Senator Hinojosa secured \$500,000 in funding to help South Texas College lease and equip the designated instructional space. At the July 25, 2011 Board meeting, the Board approved the initial classroom lease agreement with the City of Hidalgo for the use of this training center. The Board had since then approved a new lease agreement with the City of Hidalgo at the January 29, 2013 Board meeting for the

lease of this facility for the period of January 1, 2013 to December 31, 2015 with renewal options of six successive periods of one academic semester each. The Continuing Education staff wished to continue to use this space. Staff recommended approval to renew this classroom lease agreement for use starting January 1, 2016 to May 31, 2016

Facility	Renewals in Contract	Renewal Requested	Lease Cost
City of Hidalgo	6 academic semesters	1st January 1, 2016 to May 31, 2016	\$1,333 per month

**Funding Source**

The balance of \$92,036.92 of the state appropriation was available and budgeted in the City of Hidalgo Lease fund for FY15-16.

Upon a motion by Mrs. Graciela Farias and a second by Dr. Alejo Salinas, Jr., Facilities Committee recommended Board approval of the renewal of the current facility lease agreement with the City of Hidalgo for use of the Hidalgo Border Security Training Center by South Texas College for the period of January 1, 2016 to May 31, 2016 as presented. The motion carried.

**Review and Recommend Action on Facility Lease Agreement with the City of Edinburg**

Approval of the facility lease agreement with the City of Edinburg for use of the Edinburg Fire Department Training facility by South Texas College will be requested at the November 24, 2015 Board meeting.

**Purpose**

Authorization was requested to approve the proposed facility lease agreement for use by the fire science program.

**Justification**

The continuation of the lease of this facility was needed to continue to accommodate fire science programs offered by South Texas College.

**Background**

At the January 19, 2013 Board meeting, the Board approved the initial facility lease agreement with the City of Edinburg for the period of August 27, 2012 to May 31, 2013 with the option to renew for three successive terms. Since then, the lease was renewed until May 31, 2015.

The facility lease agreement expired on May 31, 2015 and the facility was not in use over the summer months. At the August 25, 2015 Board meeting, the Board approved to renew the facility lease agreement for another term beginning September 1, 2015, however, the City of Edinburg requested that a new lease be provided for the new term of September 1, 2015 to May 31, 2016. Staff recommended approval of the proposed facility lease agreement for use starting September 1, 2015 to May 31, 2016.



Facility	Initial Term	Optional Renewal Periods	Lease Cost
City of Edinburg	9/1/15 – 5/31/16	9/1/16-5/31/17 9/1/17-5/31/18 9/1/18-5/31/19	Up to \$13,000 per academic semester plus materials used

**Funding Source**

Funds for these expenditures were budgeted in the Facilities Lease budget for FY 2015-2016.

Upon a motion by Dr. Alejo Salinas, Jr. and a second by Mrs. Graciela Farias, the Facilities Committee recommended Board approval of the proposed classroom lease agreement with the City of Edinburg for use of the Edinburg Fire Department by South Texas College for the period of September 1, 2015 to May 31, 2016 as presented. The motion carried.

**Review and Recommend Action on Testing and Balancing Services for District-Wide Non-Bond Construction Projects**

Approval of testing and balancing services for district-wide non-bond construction projects will be requested at the November 24, 2015 Board meeting.

**Purpose**

Authorization was requested to approve a pool of testing and balancing firms for the non-bond construction projects for a period of one year with two one-year options to renew.

**Justification**

Testing and balancing services were necessary to certify that all heating, ventilation, and air conditioning (HVAC) equipment and systems are operating at the required design capacities as specified in the construction documents for each building. Some of the anticipated services which may be provided were as follows:

- Confirm HVAC system controls function as specified
- Confirm HVAC system air flow and volume meet specifications
- Confirm HVAC system equipment function as specified
- Make recommendations on adjustment to HVAC system to maximize performance and minimize energy consumption
- Prepare reports identifying deficiencies in the system so contractor can make corrections prior to final acceptance of construction work

The benefits of a preapproved list of two testing and balancing firms would be to ensure that a firm was available to perform the services to meet the college’s construction project schedules. Having preapproved testing and balancing firms would allow staff to save time by not soliciting proposals on a project by project basis. The assignment of projects to each firm as then monitored on an annual basis to ensure an equitable amount of work

and fees were assigned to each firm. This process has proven effective and allowed these testing and balancing services to be expedited.

### **Background**

Solicitation for Request for Proposals for these services began on September 28, 2015. A total of two (2) proposals were received on October 13, 2015.

<b>Timeline for Solicitation for Request for Proposals</b>	
September 28, 2015	Solicitation for Request for Proposals began.
October 13, 2015	Two (2) proposals were received.

### **Reviewers**

The proposals were reviewed by staff from the Facilities Planning & Construction, Operations & Maintenance, and Purchasing departments.

### **Enclosed Documents**

Staff evaluated these proposals and prepared proposal and ranking for review by the Facilities Committee.

Upon a motion by Mrs. Graciela Farias and a second by Dr. Alejo Salinas, Jr., the Facilities Committee recommended Board approval of the testing and balancing services for the district-wide non-bond construction projects with Engineered Air Balance and National Precisionnaire from November 25, 2015 to November 24, 2016 with two one-year options to renew as presented. The motion carried.

### **Review and Recommend Action on Contracting Construction Services for the Non-Bond Pecan Campus Removal of Existing Trees**

Approval to contract construction services for the Non-Bond Pecan Campus Removal of Existing Trees project will be requested at the November 24, 2015 Board meeting.

### **Purpose**

The procurement of a contractor would provide for construction services necessary for the Non-Bond Pecan Campus Removal of Existing Trees.

### **Justification**

Removal of trees on the Pecan Campus was necessary to avoid conflict with the 2013 Bond Construction South Academic Building.

### **Background**

Previously, trees on the Pecan Campus were removed to avoid conflict with the construction of buildings, parking, site improvements, and landscaping for the 2013 Bond Construction program. Due to the revised locations of the future non-bond Library and 2013 Bond South Academic Building, additional trees needed to be removed. The City of McAllen required that new trees be installed to replace trees that were removed.

Landscape plans would be developed so that sufficient trees would be provided in beneficial locations.

STC staff issued the necessary plans and specifications for the solicitation of competitive sealed proposals. Solicitation of competitive sealed proposals for this project began on September 8, 2015. A total of three (3) proposals were received on September 23, 2015.

<b>Timeline for Solicitation of Competitive Sealed Proposals</b>	
September 8, 2015	Solicitation of competitive sealed proposals began.
September 23, 2015	Three (3) proposals were received.

**Funding Source**

As part of the FY 2015-2016 non-bond construction budget, funds in the amount of \$21,000 were budgeted for this project.

<b>Source of Funding</b>	<b>Amount Budgeted</b>	<b>Highest Ranked Proposal Maldonado Nursery &amp; Landscape, Inc.</b>
Non-Bond Construction	\$21,000	\$7,150

**Reviewers**

The proposals were reviewed by staff from the Facilities Planning & Construction, Operations & Maintenance, and Purchasing departments.

**Enclosed Documents**

Staff evaluated these proposals and prepared a proposal summary. It was recommended that the top ranked contractor be recommended for Board approval. The provided site plan and photo showed the trees identified for removal.

Upon a motion by Dr. Alejo Salinas, Jr. and a second by Mrs. Graciela Farias, the Facilities Committee recommended Board approval to contract construction services with Maldonado Nursery & Landscape, Inc. in the amount of \$7,150 for the Non-Bond Pecan Campus Tree Removal project as presented. The motion carried.

**Review and Recommend Action on Construction Services for the Non-Bond District-Wide Building to Building ADA Compliance Phase II**

Approval to contract construction services for the Non-Bond District-Wide Building to Building ADA Compliance Phase II project will be requested at the November 24, 2015 Board meeting.

**Purpose**

The procurement of a contractor would provide for construction services necessary for the Non-Bond District-Wide Building to Building ADA Compliance Phase II project.

**Background**

Phase I of the District-Wide Building to Building ADA Compliance project was completed on May 2014. On August 2014, the Board of Trustees authorized Dannenbaum Engineering to prepare plans and specifications for the Non-Bond District-Wide Building to Building ADA Compliance Phase II project. As a result, the design team at Dannenbaum Engineering worked with college staff in preparing and issuing the necessary plans and specifications for the solicitation of competitive sealed proposals.

College staff issued the necessary plans and specifications for the solicitation of competitive sealed proposals. Solicitation of competitive sealed proposals for this project began on September 8, 2015. A total of two (2) proposals were received on September 24, 2015.

<b>Timeline for Solicitation of Competitive Sealed Proposals</b>	
September 8, 2015	Solicitation of competitive sealed proposals began.
September 24, 2015	Two (2) proposals were received.

**Justification**

Construction of American Disabilities Act (ADA) improvements were necessary to meet current ADA standards. This was the final phase of the District-Wide ADA Improvements which would bring the existing college facilities up to full ADA compliance.

**Funding Source**

As part of the FY 2015-2016 non-bond construction budget, funds in the amount of \$400,000 were budgeted for this project. Additional funds were available in the non-bond construction budget.

<b>Source of Funding</b>	<b>Amount Budgeted</b>	<b>Highest Ranked Proposal 5 Star Construction</b>
Non-Bond Construction	\$400,000	\$466,112.03

**Reviewers**

The proposals were reviewed by staff from the Facilities Planning & Construction, Operations & Maintenance, and Purchasing departments.

**Enclosed Documents**

Staff evaluated these proposals and prepared a proposal summary. It was recommended that the top ranked contractor be recommended for Board approval.

Upon a motion by Dr. Alejo Salinas, Jr. and a second by Mrs. Graciela Farias, the Facilities Committee recommended Board approval to contract construction services with 5 Star Construction Company in the amount of \$466,112.03 for the Non-Bond District-Wide Building to Building ADA Compliance Phase II project as presented. The motion carried.

## **Update on Status of Non-Bond Construction Projects**

The Facilities Planning & Construction staff prepared a design and construction update. This update summarized the status of each capital improvement project currently in progress. Mary Elizondo and Rick de la Garza attended the meeting to respond to questions and address concerns of the committee.

### **Non-Bond Technology Campus Cooling Tower Replacement Project**

At the September 22, 2015 board meeting, staff was authorized to negotiate the final completion and close out of the Technology Campus Cooling Tower Replacement with Pro Tech Mechanical. A delay in the completion of this project resulted in possible liquidated damages being incurred. The contractor was working on completing all pending items needed to close out the project but a new concern has surfaced. This item could also affect the liquidated damages provision in the contract. Staff was working with Halff Associates on resolving this issue. Therefore, a recommendation was not provided at this time but an appropriate recommendation would be provided at a subsequent Facilities Committee meeting.

### **Executive Session:**

The South Texas College Board Facilities Committee convened into Executive Session at 3:45 p.m. in accordance with Chapter 551 of the Texas Government Code for the specific purpose provided in:

- Section 551.071, Consultations with Attorney
- 1. Discussion and Action as Necessary Regarding Contracts for Geotechnical and Construction Materials Testing Services for the 2013 Bond Construction Program

### **Open Session:**

The South Texas College Board Facilities Committee returned to Open Session at 3:52 p.m. No action was taken in Executive Session

### **Discussion and Action as Necessary Regarding Contracts for Geotechnical and Construction Materials Testing Services for the 2013 Bond Construction Program**

The Facilities Committee was asked to recommend action as necessary regarding the contracts for geotechnical and construction materials testing services for the 2013 Bond Construction program.

The Board of Trustees authorized at the April 28, 2015 Board meeting, contracting with four firms for the following campuses:

1. Pecan Campus

2. Technology Campus
3. Nursing & Allied Health Campus
4. Mid Valley Campus
5. Starr County Campus
6. La Joya Teaching Center
7. Pharr Regional for Public Safety Excellence

Broaddus & Associates advised the Committee that they were unable to negotiate a reasonable fee with L & G Consulting Engineers, Inc., the engineering firm approved by the Board for the Mid Valley Campus and Pharr Regional Center for Public Safety Excellence projects. It was the recommendation of Broaddus & Associates that they cease negotiations with L & G Consulting Engineers and offer the project to another firm approved by the Board for similar 2013 Bond Construction Program projects, Raba-Kistner Consultants, Inc.

Upon a motion by Mr. Paul R. Rodriguez and a second by Dr. Alejo Salinas, Jr., the Facilities Committee recommended Board approval to cease negotiations with L & G Consulting Engineers, Inc. and to attempt to negotiate the designated projects with Raba-Kistner Consultants, Inc. The motion carried.

### **Adjournment**

There being no further business to discuss, the Facilities Committee Meeting of the South Texas College Board of Trustees adjourned at 3:56 p.m.

I certify that the foregoing are the true and correct minutes of the November 24, 2015 Facilities Committee Meeting of the South Texas College Board of Trustees.

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Mr. Gary Gurwitz, Chair

### **Update on Status of 2013 Bond Construction Program**

Enclosed is a copy of the presentation prepared by Broaddus and Associates as an update on the status of the 2013 Bond Construction Program. A representative from Broaddus and Associates will be present at the December 8, 2015 Board Facilities Committee meeting to provide the update.

# **SOUTH TEXAS COLLEGE**

## **2013 BOND CONSTRUCTION PROGRAM UPCOMING TIMELINE**

Facilities Committee Meeting

December 8, 2015



**BROADDUS  
& ASSOCIATES**



# BOARD APPROVAL ITEMS

**South Texas College  
2013 Bond Construction Program  
Upcoming Timeline – 12/8/15**

October '15      November '15      December '15      January '16      February '16

	Update (No Action)	Update (No Action)	Update (No Action)	Update (No Action)	Update (No Action)
<b>1</b>	Schematic Design Approval	Schematic Design Approval	Schematic Design Approval	Schematic Design Approval	Update (No Action)
<b>2</b>	Nursing & Allied Health Thermal Energy Engineer Selection	Pecan Campus Thermal Plant Expansion GMP Approval	FF&E Recommendation	Chiller Procurement Award	
<b>3</b>	Chiller Procurement	Wage Scale Determination			
<b>4</b>	Additional Services – MVC Library Renovation	FF&E RFP Solicitation			
<b>5</b>					
<b>6</b>					
<b>7</b>					
<b>8</b>					
<b>9</b>					
<b>10</b>					

Board Approval

# OPERATIONAL ITEMS

**South Texas College  
2013 Bond Construction Program  
Upcoming Timeline**

October '15      November '15      December '15      January '16      February '16

	October '15	November '15	December '15	January '16	February '16
<b>1</b>		Chiller Solicitation	Center for Public Safety RFQ's		
<b>2</b>		FF&E RFP			
<b>3</b>		Negotiate N&AH Thermal Plant Contract			
<b>4</b>					
<b>5</b>					
<b>6</b>					
<b>7</b>					
<b>8</b>					
<b>9</b>					
<b>10</b>					
<b>Operational</b>					

# INFORMATION & PRESENTATION ITEMS

**South Texas College**  
**2013 Bond Construction Program**  
**Upcoming Timeline**

October '15      November '15      December '15      January '16      February '16

	October '15	November '15	December '15	January '16	February '16
<b>1</b>					
<b>2</b>					
<b>3</b>					
<b>4</b>					
<b>5</b>					
<b>6</b>					
<b>7</b>					
<b>8</b>					
<b>9</b>					
<b>10</b>					
<b>Informational/Presentations</b>					

2013 BOND CONSTRUCTION PROGRAM PROGRESS REPORT - December 8, 2015

Project Number	PROJECT DESCRIPTION	Project Development			Design Phase				Price Proposals		Construction Phase						Architect/Engineer	Contractor		
		Project Development	Board approval of A/E	Contract Negotiations	Concept Development	Schematic Approval	Design Development	30%	60%	95%	100%	B&A Review	Board Approval	30%	50%	75%			95% Substantial Comp	100%
<b>Pecan Campus</b>																				
	North Academic Building	Project Development																	PBK Architects	D. Wilson Construction
	South Academic Building	Project Development																	BSA Architects	D. Wilson Construction
	STEM Building	Project Development																	BSA Architects	D. Wilson Construction
	Student Activities Building and Cafeteria	Project Development																	Warren Group Architects	D. Wilson Construction
	Thermal Plant Expansion	Project Development																	Half Associates	D. Wilson Construction
	Parking and Site Improvements	Project Development																	PCE	D. Wilson Construction
<b>Mid Valley Campus</b>																				
	Health Professions and Science Building	Project Development																	ROFA Architects	Skanska USA
	Workforce Training Center Expansion	Project Development																	EGV Architects	Skanska USA
	Library Expansion	Project Development																	Mata + Garcia Architects	Skanska USA
	Student Services Building Expansion	Project Development																	ROFA Architects	Skanska USA
	Thermal Plant	Project Development																	DBR Engineering	Skanska USA
	Parking and Site Improvements	Project Development																	Half Associates	Skanska USA
<b>Technology Campus</b>																				
	Southwest Building Renovation	Project Development																	EGV Architects	ECON Construction
	Parking and Site Improvements	Project Development																	Hinojosa Engineering	ECON Construction
<b>Nursing and Allied Health Campus</b>																				
	Campus Expansion	Project Development																	ERO Architects	D. Wilson Construction
	Parking and Site Improvements	Project Development																	R. Gutierrez Engineers	D. Wilson Construction
<b>Starr County Campus</b>																				
	Health Professions and Science Building	Project Development																	Mata + Garcia Architects	D. Wilson Construction
	Workforce Training Center Expansion	Project Development																	EGV Architects	D. Wilson Construction
	Library	Project Development																	Mata + Garcia Architects	D. Wilson Construction
	Student Services Building Expansion	Project Development																	Mata + Garcia Architects	D. Wilson Construction
	Student Activities Building Expansion	Project Development																	Mata + Garcia Architects	D. Wilson Construction
	Thermal Plant	Project Development																	Sigma HN Engineers	D. Wilson Construction
	Parking and Site Improvements	Project Development																	Melden & Hunt Engineering	D. Wilson Construction
<b>Regional Center for Public Safety Excellence - Pharr</b>																				
	Training Facility	Project Development																	TBD	TBD
	Parking and Site Improvements	Project Development																	TBD	TBD
<b>STC La Joya Teaching Site (Jimmy Carter ECHS)</b>																				
	Training Labs Improvements	Project Development																	EGV Architects	TBD

## **Review and Recommend Action on Additional Services with Broaddus and Associates for Structured Cabling (IT) Duct Bank Modifications for the 2013 Bond Construction Program**

Approval of additional services with Broaddus and Associates for a Structured Cabling (IT) Duct Bank Modifications for the 2013 Bond Construction Program will be requested at the December 15, 2015 Board meeting.

### **Purpose**

The existing structured cabling (IT) duct banks require modifications at each of the campuses in order to provide data service to the proposed bond program facilities. The IT (information technology) duct banks are a series of underground conduits that carry the fiber optic data cabling between the buildings.

### **Justification**

The design of exterior underground structured cabling (IT) duct banks is not included in any current architectural or engineering consultant agreement(s). The existing structured cabling (IT) duct banks are located between the buildings and provide the required data connectivity for the buildings.

### **Background**

Broaddus and Associates met with college staff and WJHW (AV/IT consultant) on October 26, 2015 to discuss existing duct bank locations at each of the college campuses and their relative relationships to proposed Bond Program facilities. Routing options were identified and recorded. Broaddus and Associates submitted a proposal in the amount of \$30,150 which includes reimbursable expenses, for additional services to design modifications to the exterior underground structured cabling (IT) duct banks.

### **Funding Source**

Funds are available in the FY 2015-2016 Bond Construction Program Management fund.

### **Enclosed Documents**

A proposal dated November 9, 2015 from Broaddus and Associates is enclosed.

### **Presenters**

Representatives from Broaddus and Associates will be present at the Facilities Committee meeting to address any questions related to this item.

It is requested that the Facilities Committee recommend for Board approval at the December 15, 2015 Board meeting, additional services with Broaddus and Associates in the amount of \$30,150, which includes reimbursable expenses, for Structured Cabling (IT) Duct Bank Modifications for the 2013 Bond Construction Program as presented.

**ADDITIONAL SERVICES PROPOSAL**  
to  
**AMEND AGREEMENT**  
**BETWEEN OWNER AND CONSULTANT**

December 4, 2015

Requisition Number: 04

Project Name: 2013 Bond Construction Program

Campus: All

Date: December 4, 2015

To: Dr. Shirley Reed, President  
STC

From: Gilbert Gallegos, Project Executive  
Broaddus & Associates

Dear Dr. Reed:

Please refer to the Agreement dated August 27, 2014, between South Texas College ("Owner") and the undersigned ("Consultant") as amended to the date hereof (such agreement as so modified and amended being hereafter called the "Agreement") pursuant to which Consultant is to perform certain services. The terms which are defined in the Agreement shall have the same meanings when used in this letter.

1. Owner has requested the Additional Services described below:

Provide Structured Cabling( IT) Duct Bank Modifications for all STC Campuses for the 2013 Construction Bond Program projects based upon the attached Scope of Services identified in the WJHW proposal letter addressed to Gilbert O. Gallegos, AIA from Rene Garza, dated November 16, 2015.

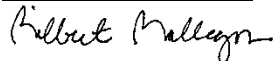
2. Consultant agrees to perform the Additional Services described above subject to and in accordance with the terms and provisions of the Agreement for a fee which will be determined in accordance with the Agreement but which will not exceed Twenty Six Thousand Four Hundred Dollars (\$26,400) and for reimbursement of expenses in accordance with the Agreement, incurred solely in connection with the performance of such Additional Services, and with a reimbursement expense allowance which will not exceed Three Thousand Seven Hundred and Fifty Dollars (\$3,750).

3. Consultant will perform the services described, in a manner that conforms to the final construction program schedule, agreed to by all and approved by the Owner.

4. Approval of this Additional Service Request occurred at the South Texas College Board of Trustees Regular Board Meeting held on December 16, 2014.

If the foregoing is acceptable to you, please so execute by signing the enclosed copy of this letter at the space provided for this purpose and by inserting the date upon which Consultant is authorized to commence performance of the Additional Services described in Paragraph 1 above.

Sincerely yours,  
Broaddus & Associates



Name: Gilbert O. Gallegos, AIA

Title: Senior Vice-President

Agreement is Amended as Follows:

Original Contract Amount	<b>\$3,975,000.00</b>
Previous Additions	888,020
Previous Deductions	0.00
Net Balance Contract Amount	<b>\$4,863,020</b>
This (Addition)( <del>Deduction</del> )	\$30,150
Adjusted Contract Amount	<b>\$4,893,170</b>

Accepted this \_\_\_\_\_ day of \_\_\_\_\_ 2015. Project Manager is authorized to commence performance of the Additional Services on December 16, 2015.

SOUTH TEXAS COLLEGE

By: \_\_\_\_\_  
Name: Dr. Shirley A. Reed  
Title: President

cc: Project Manager  
VP Finance & Administration  
Director of FPC  
Accounts Payable



WRIGHTSON | JOHNSON | HADDON | WILLIAMS

Designers and Planners for Sound, Video, Multi-Media  
Telecommunications, Broadcast, Theatre & Acoustics

Dallas • San Antonio • Denver

Via Email: rgarcia@broaddusassociates.com

December 3, 2015

Mr. Gilbert Gallegos, AIA  
Broaddus & Associates  
1100 East Jasmine Avenue, Suite 102  
McAllen, TX 78501

Re: **South Texas College (STC) Bond 2013 Project, Revision #3**  
**WJHW Additional Services Proposal (ASR #1) - Structured Cabling (IT) Duct Bank Modifications**

Dear Mr. Gallegos:

Thank you for requesting this fee proposal from Wrightson, Johnson, Haddon & Williams (WJHW) for Additional Services in regards to the duct bank modifications for the Pecan Campus, Technology Campus, Starr County Campus, Mid Valley Campus and Nursing Campus. This additional service was noted and recognized during our meetings with Rolando Garcia, Diana Bravo Gonzalez, Tim Weldon and Joe Galindo on October 26, 2015.

**SCOPE OF SERVICES**

**STRUCTURED CABLING (IT) DUCT BANK MODIFICATIONS**

WJHW will provide the following additional services:

- Perform site observations to confirm current vault/man-hole locations and underground conduits for each site and verify against the current site and civil plans.
- Develop and issue drawings indicating the revised locations/routing of the duct banks.
- Develop and issue specifications for the required cabling infrastructure to extend the College’s network.
- Coordinate our efforts with that of the Civil Engineer for each campus/site.
- Provide Construction Administration services for these additions as outlined within our base proposal.

**FEE**

For the IT Duct Bank Consultative and Design Services outlined above, we propose to provide these services for the fixed fees of \$26,400 plus reimbursable expenses (additional reimbursable expenses shall not exceed \$3,750):

Campus	Design Services Fee	Estimated Hours
Starr Country Campus	\$ 5,900	35
Mid Valley Campus	\$ 5,900	35
Pecan Campus	\$ 5,000	30
Technology Campus	\$ 4,800	28
Nursing Campus	\$ 4,800	28
<b>TOTAL</b>	<b>\$ 26,400</b>	<b>156</b>

WJHW anticipates up to five (5) additional man days onsite as part of these additional efforts.

The terms and conditions in the original contract agreement dated December 18, 2014, shall apply to this document.

Thank you again for giving us the opportunity to prepare this additional services proposal. Please let me know if you have any questions or need anything else. We are prepared to begin our work upon receipt of your notice to proceed.

Best Regards,

Wrightson, Johnson, Haddon & Williams, Inc.

René Garza  
Principal

ACCEPTED:

\_\_\_\_\_

By

\_\_\_\_\_

Title

\_\_\_\_\_

Date

3424 Midcourt Road, Suite 124, Carrollton, TX 75006  
972.934.3700 voice 972.934.3720 fax





Duct Bank Example

## **Review and Recommend Action on Schematic Design of the 2013 Bond Construction Starr County Campus Library**

Approval of schematic design by Mata Garcia Architects for the 2013 Bond Construction Starr County Campus Library will be requested at the December 15, 2015 Board meeting.

### **Purpose**

Schematic design is the first phase of basic design services provided by the project design team. In this phase, the design team prepares schematic drawings based on the Owner's project program and design meetings with staff. The approval of this phase is necessary to establish the basis on which the project design team is given authorization to proceed with design development and construction document phases.

### **Justification**

Once schematic design is approved, Mata Garcia Architects will proceed to prepare all necessary design development drawings and specifications in preparation for the construction documents phase using college design standards as well as all applicable codes and ordinances. The phases of a construction project are as follows: 1.) Schematic Design, 2.) Design Development, 3.) Construction Documents, 4.) Guaranteed Maximum Price, 5.) Construction, and 6.) Closeout

The Construction Manager-at-Risk provides preconstruction services during the design processes leading to the construction phase. A Guaranteed Maximum Price (GMP) will then be developed and will be presented to the Facilities Committee for review at a future date.

### **Background**

As previously authorized by the Board of Trustees, Mata Garcia Architects began working with Broaddus and Associates, Facilities Planning and Construction, and college staff to develop plans and elevations. The proposed Starr County Campus Library project is part of the 2013 Bond Construction Program and includes the following scope:

- **Architect**
  - Mata Garcia Architects
- **Construction Manager-at-Risk**
  - D. Wilson Construction
- **Construction Cost Limitation (CCL)**
  - \$2,800,000
- **Program Scope**
  - SQ FT – 18,516
    - Original Program SF 16,516
  - 1 Floor

- Student Entrances and Lobby
- Learning Commons
- Multi-Purpose and Group Study
- Circulation
- Collection
- Administrative Work / Support

### **Funding Source**

The current Construction Cost Limitation (CCL) is \$2,800,000 and will be adjusted once the Guaranteed Maximum Price (GMP) proposals have been submitted by the Construction Manager-at-Risk to be presented to the Board for approval. Bond funds are budgeted in the Bond Construction budget for fiscal year 2015-2016.

### **Reviewers**

The proposed schematic design has been reviewed by Broaddus and Associates and staff from Facilities Planning and Construction, Operations and Maintenance, Administration, Library, Instructional Technologies, and Technology Resources departments.

### **Enclosed Documents**

Mata Garcia Architects has developed a schematic presentation describing the proposed design. Enclosed are drawings of the site plan, floor plans, and exterior views.

### **Presenters**

Representatives from Broaddus and Associates and Mata Garcia Architects will be present at the Facilities Committee meeting to present the schematic design of the proposed expansion project.

It is requested that the Facilities Committee recommend for Board approval at the December 15, 2015 Board meeting, the proposed schematic design of the 2013 Bond Construction Starr County Campus Library as presented.

South Texas College  
Starr County Campus

# Library



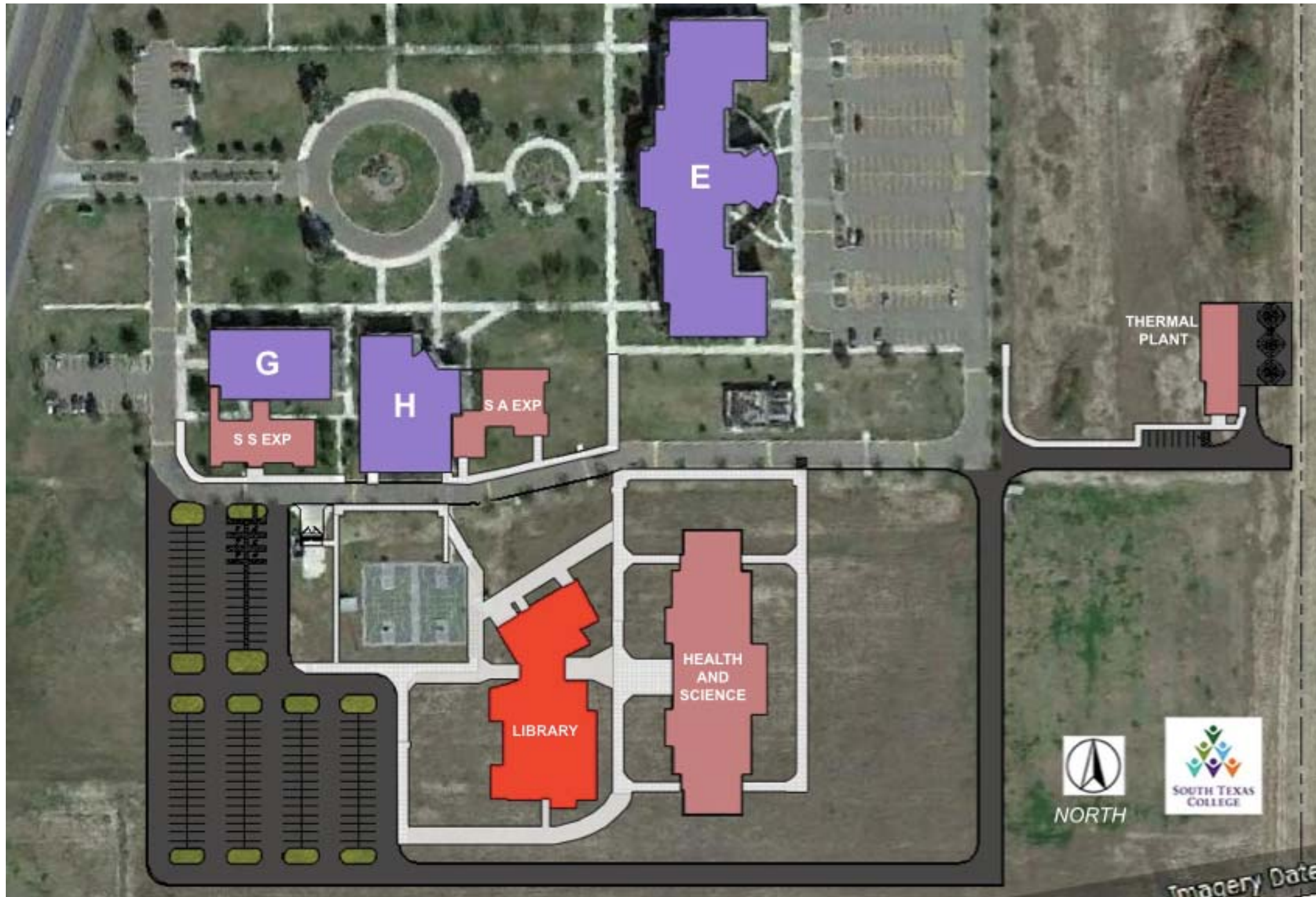




Site Plan \* Starr County Campus Library







Partial Site Plan \* Starr County Campus Library





Floor Plan \* Starr County Campus Library







Northeast View of the Starr County Campus Library







View of the Starr County Campus Library from the Student Activities Building





Detail







East Elevation \* Starr County Campus Library



South Elevation \* Starr County Campus Library

Courtyard Elevations



West Elevation \* Starr County Campus Library



## **Review and Recommend Action on Schematic Design of the 2013 Bond Construction Starr County Campus Parking and Site Improvements**

Approval of schematic design by Melden and Hunt for the 2013 Bond Construction Starr County Campus Parking and Site Improvements project will be requested at the December 15, 2015 Board meeting.

### **Purpose**

Schematic design is the first phase of basic design services provided by the project design team. In this phase, the design team prepares schematic drawings based on the Owner's project program and design meetings with staff. The approval of this phase is necessary to establish the basis on which the project design team is given authorization to proceed with design development and construction document phases.

### **Justification**

Once schematic design is approved, Melden and Hunt will proceed to prepare all necessary design development drawings and specifications in preparation for the construction documents phase using college design standards as well as all applicable codes and ordinances. The phases of a construction project are as follows: 1.) Schematic Design, 2.) Design Development, 3.) Construction Documents, 4.) Guaranteed Maximum Price, 5.) Construction, and 6.) Closeout

The Construction Manager-at-Risk provides preconstruction services during the design processes leading to the construction phase. A Guaranteed Maximum Price (GMP) will then be developed and will be presented to the Facilities Committee for review at a future date.

### **Background**

As previously authorized by the Board of Trustees, Melden and Hunt began working with Broaddus and Associates, Facilities Planning and Construction, and college staff to develop parking and site plans. The proposed Starr County Campus Parking and Site Improvements project is part of the 2013 Bond Construction Program and includes the following scope:

- **Engineer**
  - Melden and Hunt
- **Construction Manager-at-Risk**
  - D. Wilson Construction Company
- **Construction Cost Limitation (CCL)**
  - \$1,000,000

- **Program Scope**
  - 147 Parking Spaces
  - Drives, Sidewalks
  - Infrastructure Improvements
  - Landscaping and Irrigation
  - Grading and Drainage
  
- **Program Scope Alternates**
  - Additional 104 parking spaces for a total of 251 spaces
  - Construction of south loop road (south of new library)
  - Demolition of portion of existing loop road (north of new library)

### **Funding Source**

The current Construction Cost Limitation (CCL) is \$1,000,000 and will be adjusted once the Guaranteed Maximum Price (GMP) proposals have been submitted by the Construction Manager-at-Risk to be presented to the Board for approval. Bond funds are budgeted in the Bond Construction budget for fiscal year 2015-2016.

### **Reviewers**

The proposed schematic design has been reviewed by Broaddus and Associates and staff from Facilities Planning and Construction, Operations and Maintenance, Administration, Technology Resources departments, and Campus Coordinator.

### **Enclosed Documents**

Melden and Hunt has developed a schematic presentation describing the proposed design. Enclosed are drawings of the site plans.


### **Presenters**

Representatives from Broaddus and Associates and Melden and Hunt will be present at the Facilities Committee meeting to present the schematic design of the proposed parking and site improvements.

It is requested that the Facilities Committee recommend for Board approval at the December 15, 2015 Board meeting, the proposed schematic design by Melden and Hunt for the 2013 Bond Construction Starr County Campus Parking and Site Improvements project as presented.

**LEGEND**

-  EXIST. BLDG.
-  EXIST. PAVEMENT
-  EXIST. CONC. PAVEMENT
-  EXIST CONC. SIDEWALK
-  PROP. PAVEMENT
-  PROP. SIDEWALK
-  PROP. LANDSCAPE
-  PROP. TREE
-  PROP. ALTERNATE
-  PROP. BUILDING

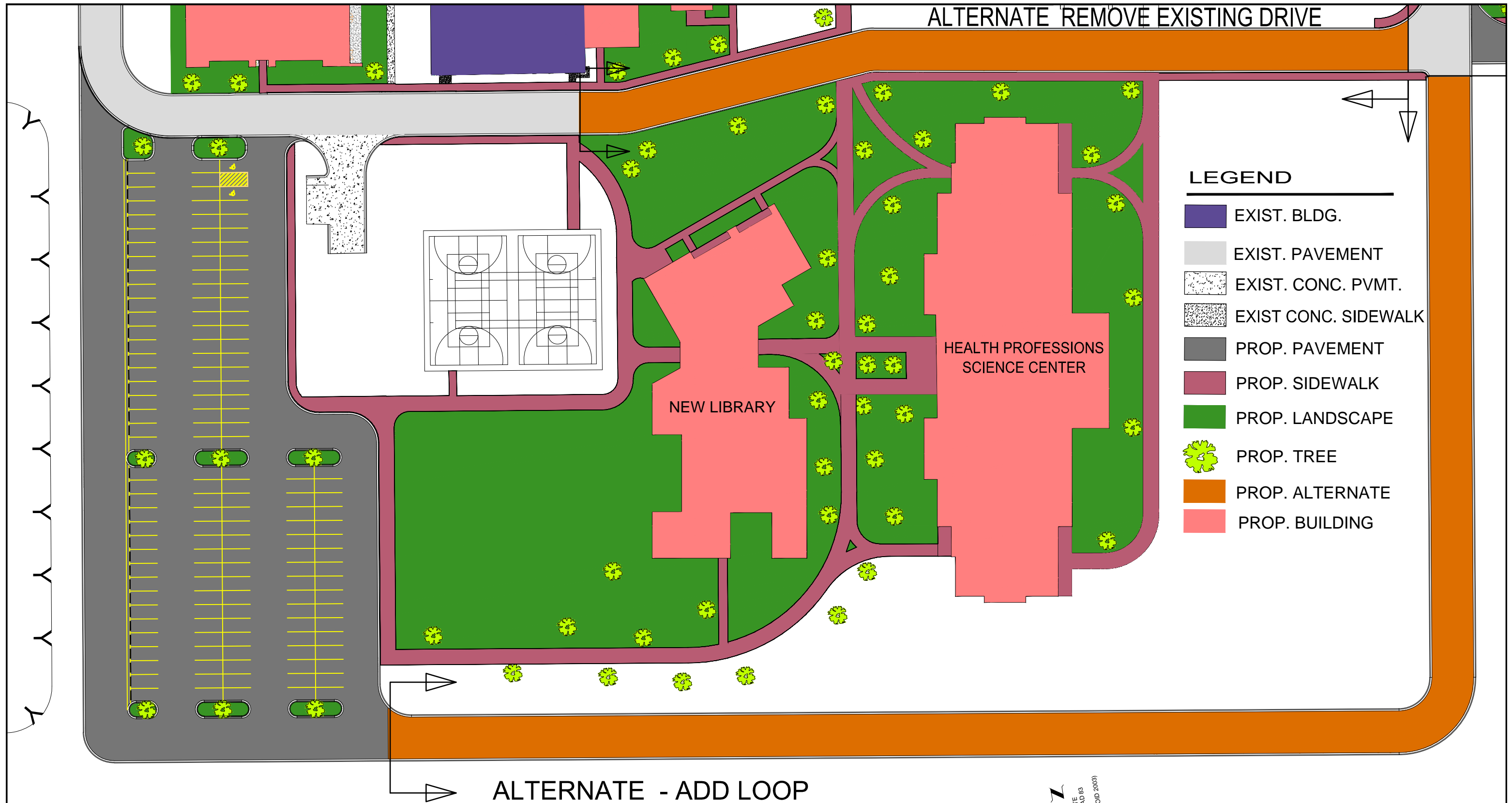

  
 BEARING BASIS AS PER TEXAS STATE
   
 PLANE GRID COORDINATE SYSTEM NAD 83
   
 TEXAS SOUTH 4205
   
 ELEVATION DATUM AS PER NAVD 88 (GEOID 2003)
   
 SCALE: N.T.S.



**SOUTH TEXAS COLLEGE  
STARR COUNTY CAMPUS  
SITE IMPROVEMENTS**

**ALTERNATE NO.1  
W/ APPROVED VARIANCE  
OVERALL SITE  
(147 PARKING SPACES)**


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 TBPLS No. 10096900



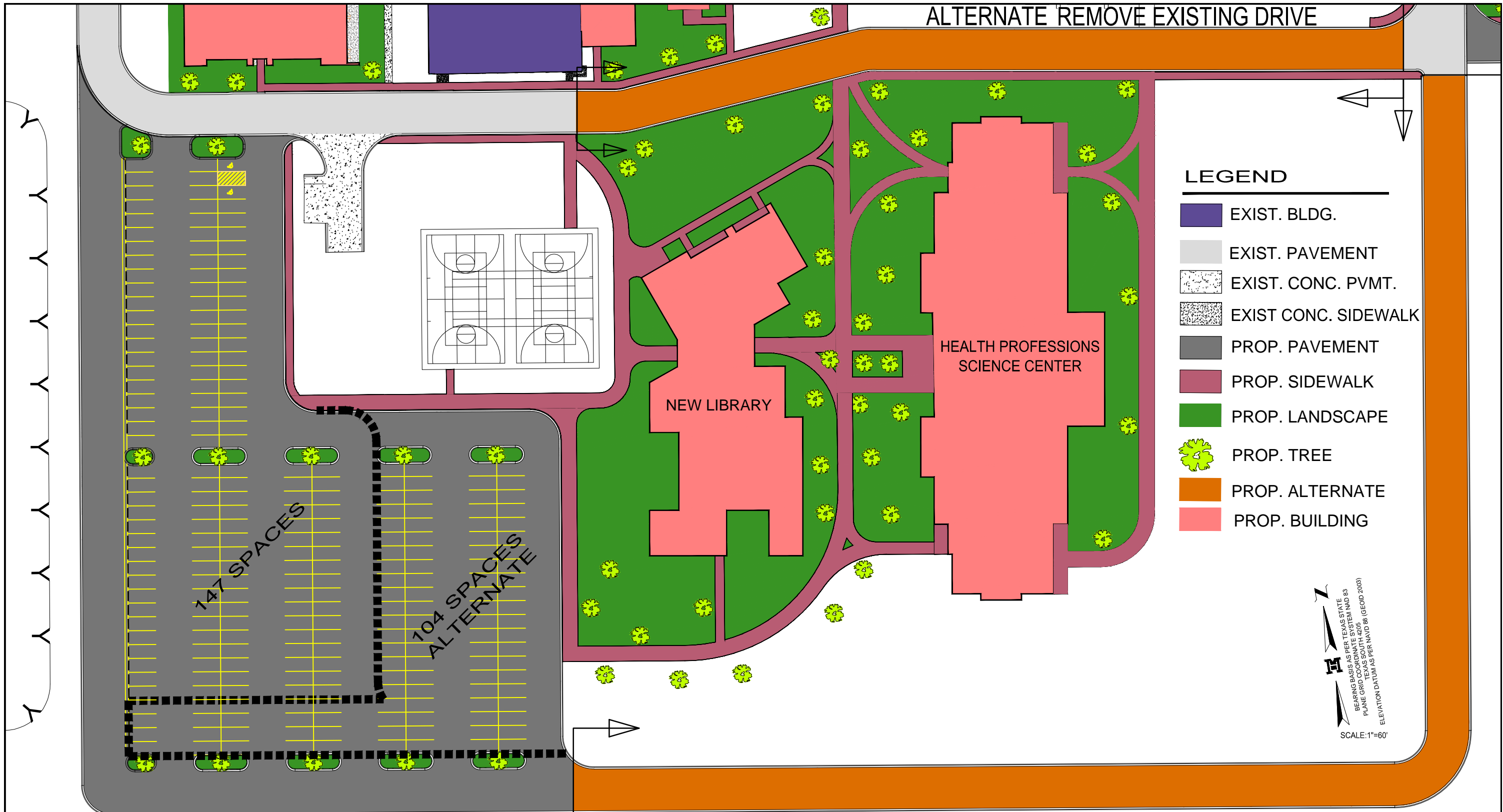
**SOUTH TEXAS COLLEGE  
STARR COUNTY CAMPUS  
SITE IMPROVEMENTS**

**NEW LIBRARY  
HEALTH PROFESSIONS  
SCIENCE CENTER  
W/ APPROVED VARIANCE  
(147 PARKING SPACES)**

BEARING BASIS AS PER TEXAS STATE  
PLANE GRID COORDINATE SYSTEM NAD 83  
TEXAS SOUTH 4205 (GEOID 2003)  
ELEVATION DATUM AS PER NAVD 88  
SCALE: 1"=60'

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**LEGEND**

- EXIST. BLDG.
- EXIST. PAVEMENT
- EXIST. CONC. PVMT.
- EXIST CONC. SIDEWALK
- PROP. PAVEMENT
- PROP. SIDEWALK
- PROP. LANDSCAPE
- PROP. TREE
- PROP. ALTERNATE
- PROP. BUILDING

BEARING BASIS AS PER TEXAS STATE  
 PLANE GRID COORDINATE SYSTEM NAD 83  
 DATUM AS PER NAD 88 (GEOID 2008)  
 ELEVATION DATUM AS PER NAD 88  
 SCALE: 1"=60'



**SOUTH TEXAS COLLEGE**  
**STARR COUNTY CAMPUS**  
**SITE IMPROVEMENTS**

▲ **ALTERNATE - ADD LOOP**  
 NEW LIBRARY  
 HEALTH PROFESSIONS  
 SCIENCE CENTER  
 W/O VARIANCE  
 (251 PARKING SPACES)

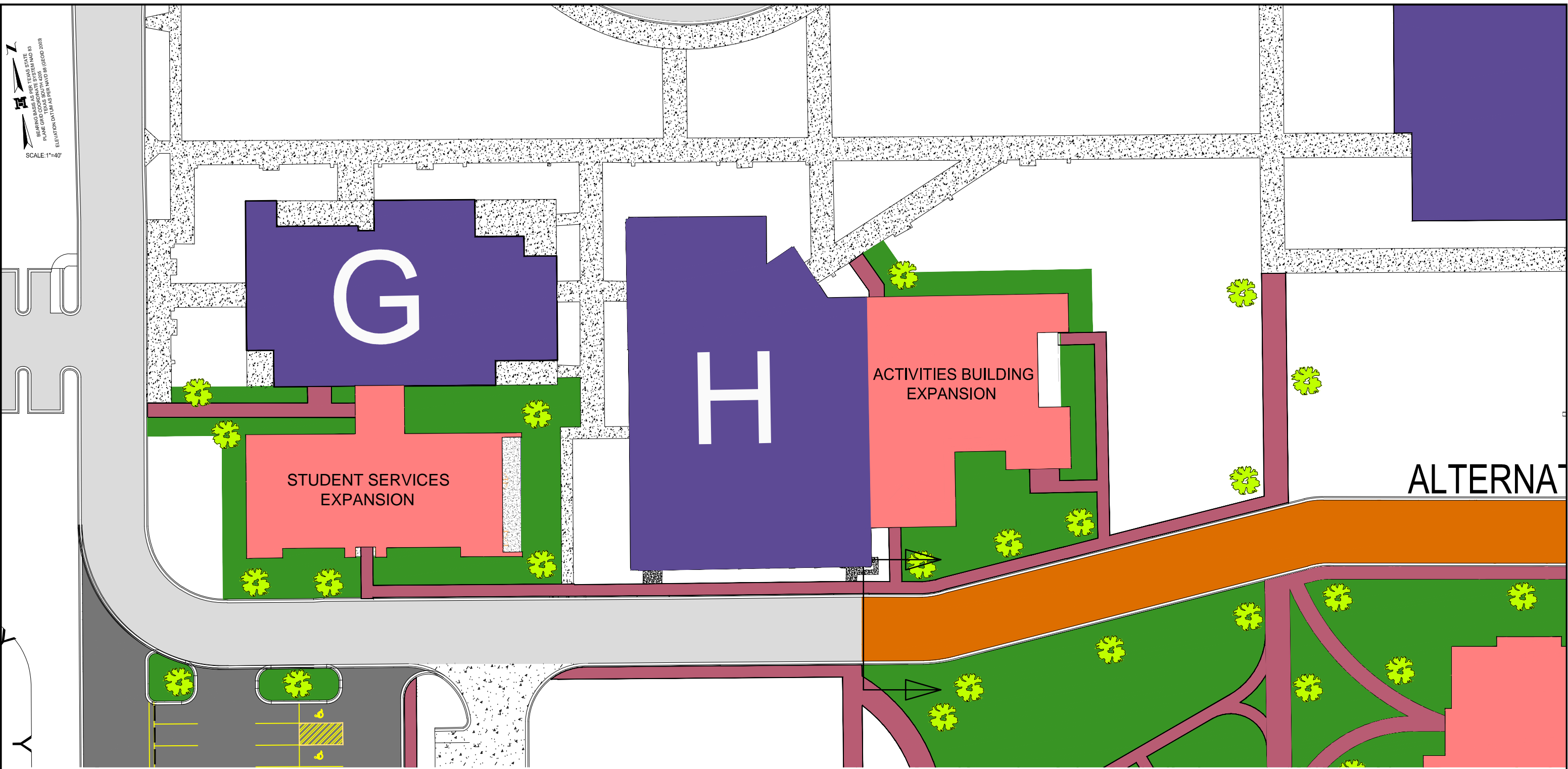
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BEARING BASIS AS PER TEXAS STATE  
 PLANE GRID COORDINATE SYSTEM NAD 83  
 ELEVATION DATA AS PER NAD 83 (GEOID 2008)  
 SCALE: 1"=40'

**LEGEND**

- EXIST. BLDG.
- EXIST. PAVEMENT
- EXIST. CONC. PVMT.
- EXIST CONC. SIDEWALK
- PROP. PAVEMENT

- PROP. SIDEWALK
- PROP. LANDSCAPE
- PROP. TREE
- PROP. ALTERNATE
- PROP. BUILDING

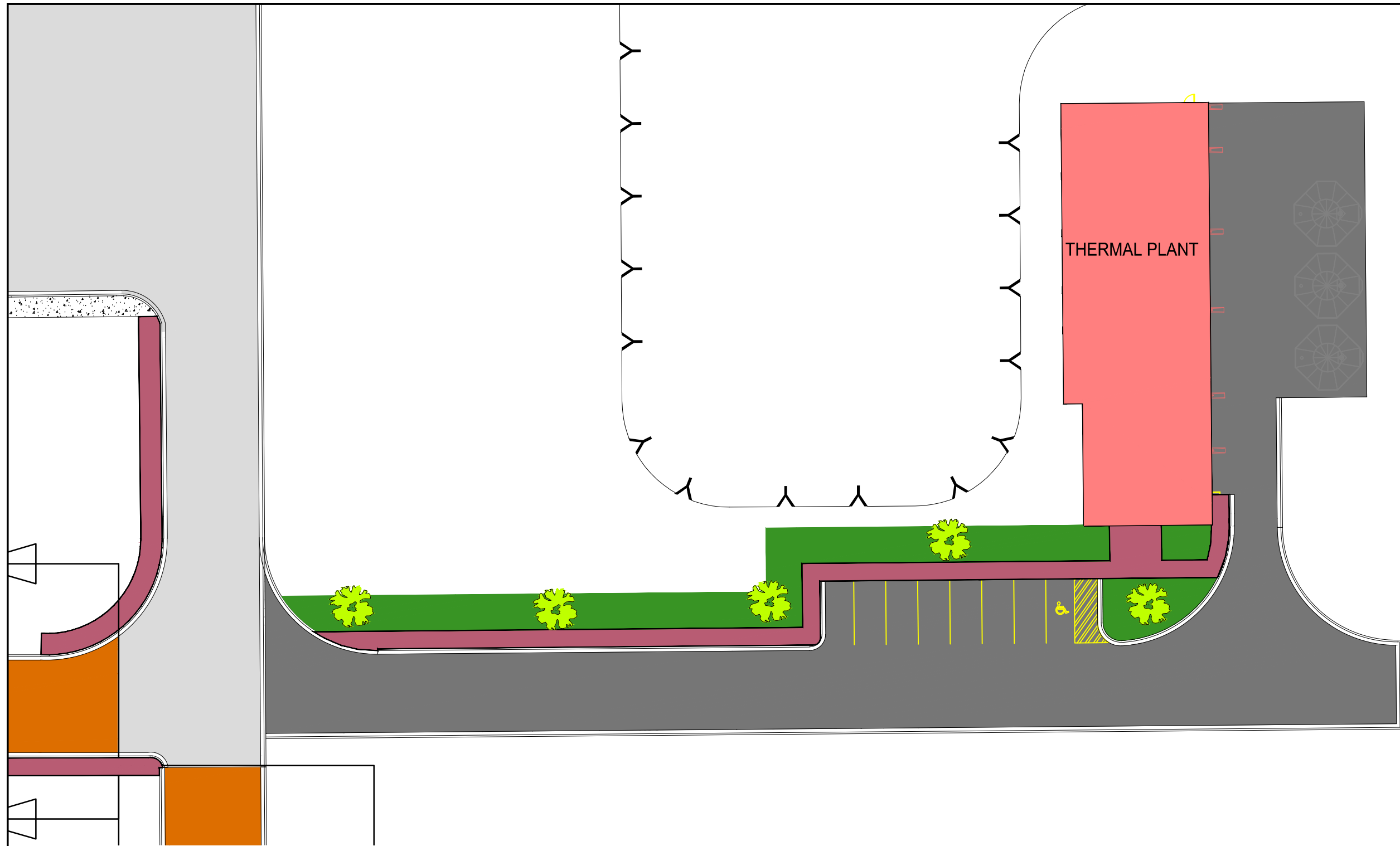
STUDENT SERVICES  
 ACTIVITIES BUILDING  
 EXPANSION




**SOUTH TEXAS COLLEGE**  
**STARR COUNTY CAMPUS**  
**SITE IMPROVEMENTS**

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 BEARING BASIS AS PER TEXAS STATE  
 PLANE GRID COORDINATE SYSTEM NAD 83  
 TEXAS SOUTH PLANE  
 ELEVATION DATUM AS PER NAD 88 (GEOID 2003)  
 SCALE: 1"=30'




**SOUTH TEXAS COLLEGE**  
**STARR COUNTY CAMPUS**  
**SITE IMPROVEMENTS**  
**(8 PARKING SPACES)**

**LEGEND**

	EXIST. BLDG.
	EXIST. PAVEMENT
	EXIST. CONC. PVMT.
	EXIST CONC. SIDEWALK
	PROP. PAVEMENT

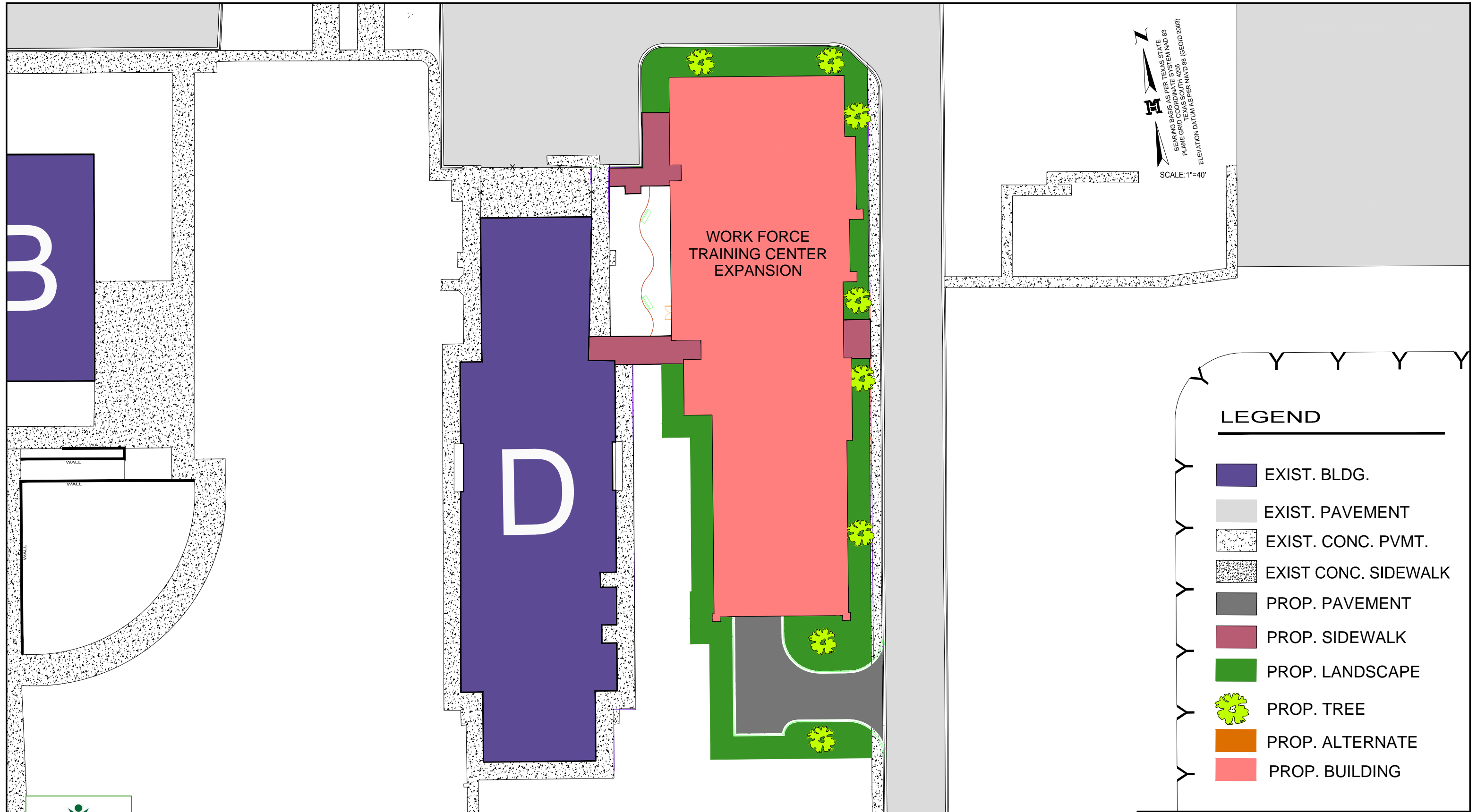
	PROP. SIDEWALK
	PROP. LANDSCAPE
	PROP. TREE
	PROP. ALTERNATE
	PROP. BUILDING


**THERMAL PLANT**













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 BEARING BASIS AS PER TEXAS STATE
   
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 TEXAS SOUTH 4205
   
 ELEVATION DATUM AS PER NAVD 88 (GEOID 2003)
   
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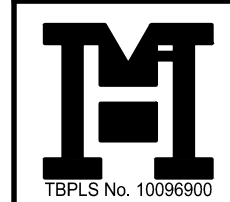
**LEGEND**

-  EXIST. BLDG.
-  EXIST. PAVEMENT
-  EXIST. CONC. PVMT.
-  EXIST CONC. SIDEWALK
-  PROP. PAVEMENT
-  PROP. SIDEWALK
-  PROP. LANDSCAPE
-  PROP. TREE
-  PROP. ALTERNATE
-  PROP. BUILDING



SOUTH TEXAS COLLEGE  
 STARR COUNTY CAMPUS  
 SITE IMPROVEMENTS

WORK FORCE  
 TRAINING CENTER



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**Review and Recommend Action on Solicitation of Request for Proposals  
(RFP) for Insurance Agent Services to establish an Owner-Controlled  
Insurance Program for the 2013 Bond Construction Program**

Approval to solicit for insurance agent services to establish an owner-controlled insurance program for the 2013 Bond Construction program will be requested at the December 15, 2015 Board meeting.

**Background**

An Owner-Controlled Insurance Program (OCIP) are insurance policies held by a property owner during the construction or renovation of a property, which is typically designed to cover virtually all liability and loss arising from the construction project. The policies solicited may include the following OCIP Insurance coverages:

- a. Worker's Compensation, including Employer's Liability
- b. Commercial General Liability
- c. Umbrella and/or Excess Liability
- d. Builder's Risk
- e. Environmental
- f. Other necessary or appropriate coverage

The OCIP will be designed to protect the District, its agents, contractors, and subcontractors of every tier from loss resulting from construction related activities. Coverage will not be extended to materials, dealers, delivery persons, and other who do not have employees working on the construction site.

The traditional method for insuring construction consists of each general contractor and sub-contractor obtaining their own insurance policies from any provider of their choosing. In turn, they build their policy premiums into their cost structure, which in turn becomes part of their bids. This means that by accepting a general contractor's successful bid, the property owner is indirectly paying for administrative overhead at dozens of separate insurance brokers and insurance companies.

In OCIP, all construction, materials, hazard, workers' compensation, terrorist, and other building-related insurance is purchased by the property owner as part of a single policy from a single insurer.

**Description / Details**

Under an Owner-Controller Insurance Program (OCIP), a policy would be purchased by the College as part of a single policy from one or more insurers. South Texas College would purchase coverage exclusively for the entire bond project. It may include other lines of coverage such as Worker's Compensation.

**Benefits of using an OCIP**

1. The Policy would be purchased at one (1) policy premium versus several spread among contractors and subcontractors.

2. The College gains direct control over premiums and coverage terms by working directly with an intergovernmental risk pool or an insurance agent.
3. The College chooses its insurance limits and policy terms and conditions.
4. The completed operations portion follows the state statute of repose. Assuming the course of the construction is three (3) years, the policy period and the extended completed operations period would be thirteen (13) years (3+10=13).
5. Litigation – the College would deal with one set of policies as opposed to the contractor and sub-contractor carriers.
6. Allows for maximizing local participation by including subcontractors which might not otherwise have access to meeting insurance requirements
7. Savings will be realized implementing this program

The proposed timeline is as follows:

#	Process	Date
1	Request for Proposals (RFP) Advertised	December 21, 2015 December 28, 2015
2	RFP Issued to Prospective Bidders	December 21, 2015
3	Proposals Due	January 5, 2016
4	Evaluation of Proposals	January 7, 2016
5	Facilities Committee Review	January 12, 2016
6	Board Approval to Award Contract	January 26, 2016
7	Negotiate the Contract with the Awarded Agent	January 27-29, 2016
8	Agent will Solicit Insurance Coverage Proposals	February 1-19, 2016
9	Agent will Evaluate Insurance Proposals	February 22-25, 2016
10	Agent will provide Insurance Information with recommendations to South Texas College	February 26, 2016
11	Insurance Proposals Summary will be on March Facilities Committee agenda for consideration	March 8, 2016
12	Facilities Committee will provide a recommendation at the March Board Meeting for the purchase of insurance coverage	March 29, 2016

**Presenters**

Raul Cabaza, the college’s risk management consultant, will review with the Committee the Owner-Controlled Insurance Program and will be available to address related questions.

It is requested that the Facilities Committee recommend for Board approval at the December 15, 2015 Board meeting, to solicit for insurance agent services to establish an owner-controlled insurance program for the 2013 Bond Construction program as presented.

# OWNER CONTROLLED INSURANCE PROGRAM



## (OCIP)

- ▣ Insurance policy held by property owner
- ▣ To cover liability and loss arising from the construction project

# Policies solicited may include

- a. Worker's Compensation, including Employer's Liability
- b. Commercial General Liability
- c. Umbrella and/or Excess Liability
- d. Builders Risk
- e. Environmental
- f. Other Necessary or appropriate coverage



## Benefits:

- ▣ Rates and Coverage terms are controlled by South Texas College
- ▣ Policy is modified by making changes to exclusions
- ▣ More contractors to bid
- ▣ Reduces the cost of the project
- ▣ 13 year policy period

# Estimated Cost

- ▣ Rule of thumb
- ▣ Estimated premiums - 1% of the hard cost

# Administration Cost

- ▣ Wrap administrator - Estimated \$30,000
- ▣ Enrolls all subcontractors
- ▣ Collects - maintains certificates

# OCIP Process

- ▣ Used by, large university systems, school districts
- ▣ Timeline is in your board packet

## **Review and Recommend Action on Contracting Consultant Services for Furniture, Fixtures, and Equipment (FF&E) for the 2013 Bond Construction Program**

Approval of contracting consultant services for Furniture, Fixtures, and Equipment (FF&E) for the 2013 Bond Construction program will be requested at the December 15, 2015 Board meeting.

### **Purpose**

Authorization is being requested to approve a consultant to assist the college in the development of FF&E standards, acquisition of FF&E property, and the selection, coordination, and placement of FF&E in the 2013 Bond Construction program buildings.

### **Justification**

Furniture, Fixtures, and Equipment consultant services are necessary to assist in the acquisition of FF&E property for the bond construction buildings.

Staff recommends that a consultant be secured to properly manage the large volume of FF&E to be acquired and installed within a short time frame for all of the 2013 Bond Construction program buildings.

A list of services that will be provided are as follows:

- Identify existing FF&E property to be incorporated into new and renovated buildings
- Create and update FF&E standards
- Review and alter all floor plan layouts provided by design teams
- Produce bid documents for procurement
- Update cost estimates
- Develop strategies to maximize value and cost savings through volume purchasing
- Coordinate and provide oversight during ordering, fabrication, delivery, and installation
- Confirm deliveries, proper installation, and prepare punch list
- Receive and review Operations and Maintenance Manuals submitted by vendors
- Follow up on repair and replacement of punch list items or undelivered product

### **Background**

Solicitation for Request for Proposals for these services began on November 9, 2015. A total of four (4) proposals were received on November 24, 2015.

<b>Timeline for Solicitation for Request for Proposals</b>	
November 9, 2015	Solicitation for Request for Proposals began.
November 24, 2015	Four (4) proposals were received.

Based on the evaluations, the highest ranked firm is HPG Design Group, LLC in the amount of \$237,090.

**Funding Source**

Funds for these expenditures are budgeted in the bond construction budget for FY 2015-2016.

**Reviewers**

The proposals have been reviewed by Broaddus and Associates and staff from the Facilities Planning and Construction, Library, and Purchasing departments.

**Enclosed Documents**

The evaluation team including college staff and Broaddus and Associates prepared the attached summary of scoring and ranking for review by the Facilities Committee.

It is requested that the Facilities Committee recommend for Board approval at the December 15, 2015 Board meeting, consultant services for Furniture, Fixtures, and Equipment (FF&E) for the 2013 Bond Construction program with HPG Design Group, LLC in the amount of \$237,090 as presented.

**SOUTH TEXAS COLLEGE  
FURNITURE, FIXTURES, AND EQUIPMENT CONSULTANT  
PROJECT NO. 15-16-1035**

<b>VENDOR</b>	Edwards + Mulhausen Interior Design, LLC.	HPG Design Group, LLC.	Marmon Mok, LLP.	Megamorphosis, Inc.	
<b>ADDRESS</b>	1412 Collier St Bldg C	7039 San Pedro Ave #408	700 N St Mary's Ste 1600	324 W Van Buren Ave	
<b>CITY/STATE/ZIP</b>	Austin, TX 78704	San Antonio, TX 78216	San Antonio, TX 78205	Harlingen, TX 78550	
<b>PHONE</b>	512-291-6657	210-332-3267	210-223-9492	956-428-1779	
<b>FAX</b>	214-347-9357		210-223-2582	956-425-5886	
<b>CONTACT</b>	Harmony A. Edwards-Canfield	Hilda Perez Garcia	Mary Bartlett	Meg Jorn	
<b>#</b>	<b>Description</b>	<b>Proposed</b>	<b>Proposed</b>	<b>Proposed</b>	
1	<b>Pecan Campus</b> --North Academic Building --STEM Building --Student Activities and Cafeteria Building --South Academic Building --Thermal Plant Expansion	\$198,200.00	\$64,110.00	\$106,850.00	\$64,110.00
2	<b>Nursing &amp; Allied Health Campus</b> --Nursing & Allied Health Campus Expansion	\$95,260.00	\$48,380.00	\$51,960.00	\$13,856.00
3	<b>Technology Campus</b> --Expansion for Technical and Workforce Training	\$67,100.00	\$18,300.00	\$36,000.00	\$24,400.00
4	<b>Mid Valley Campus</b> --Health Professions and Science Building --Workforce Expansion --Library Expansion --Student Services Building Expansion --Thermal Plant Expansion	\$138,000.00	\$40,500.00	\$67,500.00	\$40,500.00
5	<b>Starr County Campus</b> --Health Professions and Science Building --Workforce Expansion --Campus Library --Student Services Building Expansion --Student Activities Expansion --Thermal Plant	\$105,500.00	\$58,000.00	\$51,250.00	\$30,750.00
6	<b>Regional Center for Public Safety Excellence</b>	\$19,200.00	\$4,800.00	\$11,200.00	\$6,400.00
7	<b>La Joya Teaching Site Training Labs Improvement</b>	\$12,000.00	\$3,000.00	\$7,000.00	\$5,000.00
<b>TOTAL BID AMOUNT</b>		\$635,260.00	\$237,090.00	\$331,760.00	\$185,016.00
<b>TOTAL EVALUATION POINTS</b>		66.95	85.4875	73.725	81.375
<b>RANKING</b>		4	1	3	2

**SOUTH TEXAS COLLEGE  
FURNITURE, FIXTURES, AND EQUIPMENT CONSULTANT  
PROJECT NO. 15-16-1035  
EVALUATION FORM**

<b>VENDOR</b>		Edwards + Mulhausen Interior Design, LLC.	HPG Design Group, LLC.	Marmon Mok, LLP.	Megamorphosis, Inc.
<b>ADDRESS</b>		1412 Collier St Bldg C	7039 San Pedro Ave #408	700 N St Mary's Ste 1600	324 W Van Buren Ave
<b>CITY/STATE</b>		Austin, TX 78704	San Antonio, TX 78216	San Antonio, TX 78205	Harlingen, TX 78550
<b>PHONE/FAX</b>		512-291-6657	210-332-3267	210-223-9492	956-428-1779
<b>FAX</b>		214-347-9357		210-223-2582	956-425-5886
<b>CONTACT</b>		Harmony A. Edwards-Canfield	Hilda Perez Garcia	Mary Bartlett	Meg Jom
1	The purchase price. (up to 35 points)	10.2	27.3	19.6	35
		10.2	27.3	19.6	35
		10.2	27.3	19.6	35
		10.2	27.3	19.6	35
		10.2	27.3	19.6	35
		10.2	27.3	19.6	35
		10.2	27.3	19.6	35
		10.2	27.3	19.6	35
2	The reputation of the vendor and the vendor's goods and/or services. (up to 18 points)	12	13	12	12
		18	17	15	14
		17	17	17	17
		15	13	15	10
		17	17	17	16
		17	17	17	17
		17	17	15	10
		18	18	15	17
3	The quality of the vendor's goods and/or services. (up to 18 points)	10	16	14	10
		18	18	18	14
		17	17	17	10
		12	11	12	9
		16	17	15	14
		17	18	17	15
		17	17	16	10
		18	17	18	13
4	The extent to which the vendor's goods and/or services meet the College's needs. (up to 15 points)	11	14	12	10
		15	15	15	15
		15	12	11	10
		11	10	11	6
		14	15	12	11
		15	15	14	12
		15	15	13	10
		13	14	13	12
5	The vendor's past relationship with the College. (up to 3 points)	0	2	1	1
		2	2	3	1
		2	2	2	0
		2	2	2	2
		2	2	2	2
		2	2	2	2
		2	2	2	0
		0	0	0	1



**SOUTH TEXAS COLLEGE  
FURNITURE, FIXTURES, AND EQUIPMENT CONSULTANT  
PROJECT NO. 15-16-1035  
EVALUATION FORM**

<b>VENDOR</b>		Edwards + Mulhausen Interior Design, LLC.	HPG Design Group, LLC.	Marmon Mok, LLP.	Megamorphosis, Inc.
6	The impact on the ability of the College to comply with laws relating to Historically Underutilized Businesses. (up to 1 point)	1	1	0	1
		1	1	0	1
		1	1	0	1
		1	1	0	1
		1	1	0	1
		1	1	0	1
		1	1	0	1
		1	1	0	1
7	The total long-term cost to the College to acquire the vendor's goods or services. (up to 5 points)	2	4	2	3
		3	5	3	5
		5	5	5	5
		3	3	3	3
		5	5	5	5
		5	5	5	5
		5	5	5	5
		4	4	4	4
8	The vendor's experience with the types of spaces normally required in higher education. (up to 5 points)	2	4	5	2
		5	5	2	3
		5	5	5	4
		5	3.5	5	3
		5	5	5	5
		5	5	5	2
		5	5	5	3
		5	5	4	3
<b>TOTAL EVALUATION POINTS</b>		66.95	85.4875	73.725	81.375
<b>RANKING</b>		4	1	3	2

## **Review and Recommend Action on Contracting Civil Engineering Services for the Asphalt Resurfacing of the Pecan Campus East Loop Road (Non-Bond)**

Approval to contract civil engineering design services for the Asphalt Resurfacing of the Pecan Campus East Loop Road (Non-Bond) will be requested at the December 15, 2015 Board meeting.

### **Purpose**

The procurement of a civil engineer will provide for design services necessary for the Asphalt Resurfacing of the Pecan Campus East Loop Road (Non-Bond) project.

### **Justification**

The procurement of a civil engineer will allow for the engineer to work with staff to prepare all necessary design development drawings and specifications in preparation for the construction documents phase using college design standards as well as all applicable codes and ordinances. Construction documents will then be issued for solicitation of construction proposals. Once received, construction proposals will be evaluated and submitted to the Board of Trustees with a recommendation to award a construction contract.

### **Background**

The existing loop road east of Building F is over fifteen years old and in need of asphalt resurfacing. As part of the deferred maintenance plan, the Facilities Planning and Construction and Facilities Operations and Maintenance departments have scheduled the replacement of the asphalt resurfacing.

In order to proceed with the design of the resurfacing, staff recommends contracting civil engineering services for preparation of plans and specifications. This is scheduled to be constructed during the summer of 2016 while there is less vehicular traffic.

Four civil engineering firms listed below were previously approved by the Board at the March 31, 2015 Board meeting for one year to provide professional services as needed for projects under \$500,000.

1. Halff Associates, Inc.
2. Melden and Hunt
3. Perez Consulting Engineering
4. R. Gutierrez Engineering

Based on the following criteria, Melden and Hunt is recommended to provide civil engineering services for this project.

- Previous experience with resurfacing of asphalt projects
- Experience with similar projects
- Familiarity with the College's standards

**Funding Source**

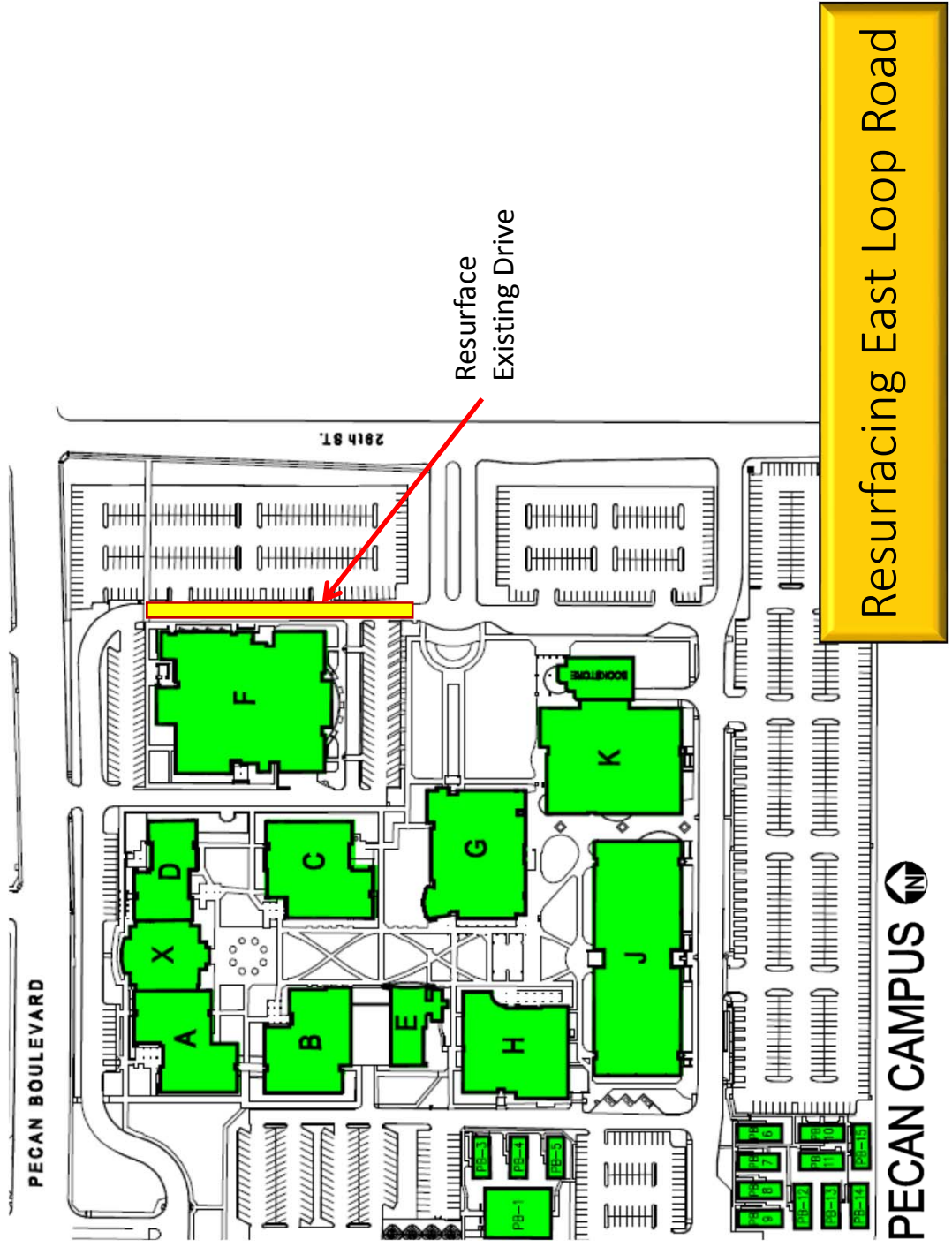
Funds are available in the FY 2015 – 2016 renewals and renewals budget for design and construction of these improvements, with the final engineering fees to be negotiated.

<b>Project Budget</b>		
<b>Budget Components</b>	<b>Amount Budgeted</b>	<b>Actual Cost</b>
Design	\$8,000	Actual design fees are estimated and will be finalized during contract negotiations.
Construction	\$75,000	Actual cost will be determined after the solicitation of construction proposals.

**Enclosed Documents**

Enclosed is a site plan indicating the proposed resurfacing location.

It is requested that the Facilities Committee recommend for Board approval at the December 15, 2015 Board meeting, the contracting of civil engineering services with Melden and Hunt for the Asphalt Resurfacing of the Pecan Campus East Loop Road (Non-Bond) project as presented.



**Review and Recommend Action on Contracting Civil Engineering Services for the Asphalt Resurfacing of the Nursing and Allied Health Campus Parking Lot 2 (Non-Bond)**

Approval to contract civil engineering design services for the Asphalt Resurfacing of the Nursing and Allied Health Campus Parking Lot 2 (Non-Bond) will be requested at the December 15, 2015 Board meeting.

**Purpose**

The procurement of a civil engineer will provide for design services necessary for the Asphalt Resurfacing of the Nursing and Allied Health Campus Parking Lot 2 (Non-Bond) project.

**Justification**

The procurement of a civil engineer will allow for the engineer to work with staff to prepare all necessary design development drawings and specifications in preparation for the construction documents phase using college design standards as well as all applicable codes and ordinances. Construction documents will then be issued for solicitation of construction proposals. Once received, construction proposals will be evaluated and submitted to the Board of Trustees with a recommendation to award a construction contract.

**Background**

The existing Parking Lot 2 located on the east side of the Nursing and Allied Health building is over 15 years old and in need of asphalt resurfacing. As part of the deferred maintenance plan, the Facilities Planning and Construction and Facilities Operations and Maintenance departments have scheduled the replacement of the asphalt resurfacing.

In order to proceed with the design of the resurfacing of the parking area, staff recommends contracting civil engineering services for preparation of plans and specifications. This project is scheduled to be constructed during the summer of 2016 while there is less vehicular traffic.

Four civil engineering firms listed below were previously approved by the Board at the March 31, 2015 Board meeting for one year to provide professional services as needed for projects under \$500,000.

1. Half Associates, Inc.
2. Melden and Hunt
3. Perez Consulting Engineering
4. R. Gutierrez Engineering

Based on the following criteria, Perez Consulting Engineers is recommended to provide civil engineering services for this project.

- Previous experience with resurfacing of asphalt projects
- Experience with similar projects
- Familiarity with the college's standards

**Funding Source**

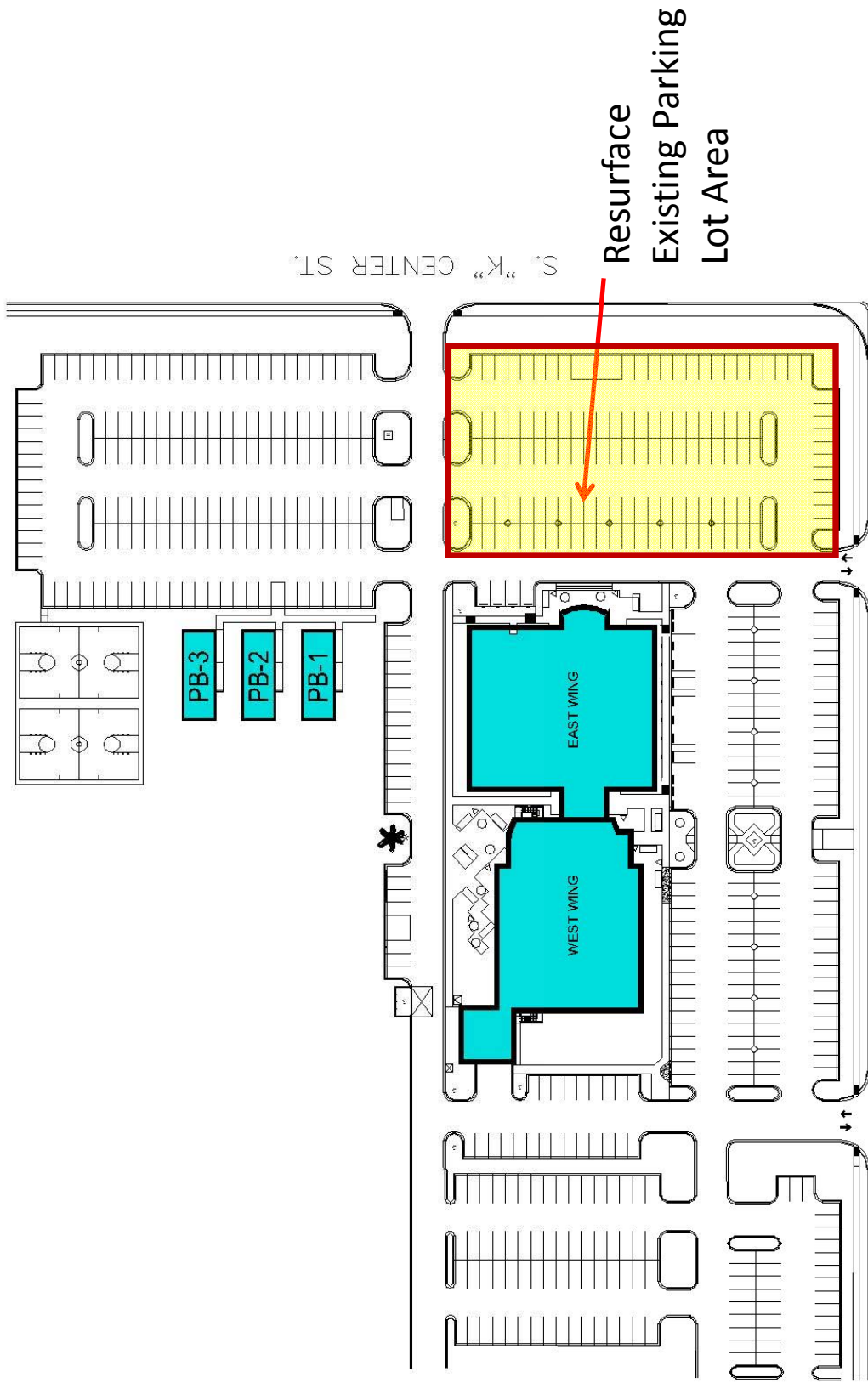
Funds are available in the FY 2015 – 2016 construction budget for design and construction of these improvements, with the final engineering fees to be negotiated.

<b>Project Budget</b>		
<b>Budget Components</b>	<b>Amount Budgeted</b>	<b>Actual Cost</b>
Design	\$25,000	Actual design fees are estimated and will be finalized during contract negotiations.
Construction	\$250,000	Actual cost will be determined after the solicitation of construction proposals.

**Enclosed Documents**

Enclosed is a site plan indicating the location of the proposed parking area.

It is requested that the Facilities Committee recommend for Board approval at the December 15, 2015 Board meeting, the contracting of civil engineering services with Perez Consulting Engineers for the Asphalt Resurfacing of the Nursing and Allied Health Campus Parking Lot 2 (Non-Bond) project as presented.



**SOUTH TEXAS  
COLLEGE**  
**NURSING & ALLIED**   
**HEALTH CAMPUS**

# Resurfacing Lot 2

## **Review and Recommend Action on Contracting Civil Engineering Services for the Technology Campus General Motors Vehicle Storage Lot (Non-Bond)**

Approval to contract civil engineering design services for the Technology Campus General Motors Vehicle Storage Lot (Non-Bond) will be requested at the December 15, 2015 Board meeting.

### **Purpose**

The procurement of a civil engineer will provide for design services necessary for the Technology Campus General Motors Vehicle Storage Lot (Non-Bond) project.

### **Justification**

The procurement of a civil engineer will allow for the engineer to work with staff to prepare all necessary design development drawings and specifications in preparation for the construction documents phase using college design standards as well as all applicable codes and ordinances. Construction documents will then be issued for solicitation of construction proposals. Once received, construction proposals will be evaluated and submitted to the Board of Trustees with a recommendation to award a construction contract.

### **Background**

The current vehicle storage lot at the Technology Campus is constructed of a caliche surface. Faculty have requested that the parking storage lot be paved in order to address various maintenance issues as indicated below.

- Regular lawn maintenance is needed due to weed growth
- Proper drainage is needed due to a low finish floor elevation
- Donated vehicles need to be stored in a secure and protected area

In order to proceed with the design of the parking area, staff recommends contracting civil engineering services for preparation of plans and specifications. This is scheduled to be constructed during the summer of 2016.

Four civil engineering firms listed below were previously approved by the Board at the March 31, 2015 Board meeting for one year to provide professional services as needed for projects under \$500,000.

1. Halff Associates, Inc.
2. Melden and Hunt
3. Perez Consulting Engineering
4. R. Gutierrez Engineering

Based on the following criteria, R. Gutierrez Engineers is recommended to provide civil engineering services for this project.

- Previous experience with parking facilities
- Experience with similar projects
- Familiarity with the college's standards



**Funding Source**

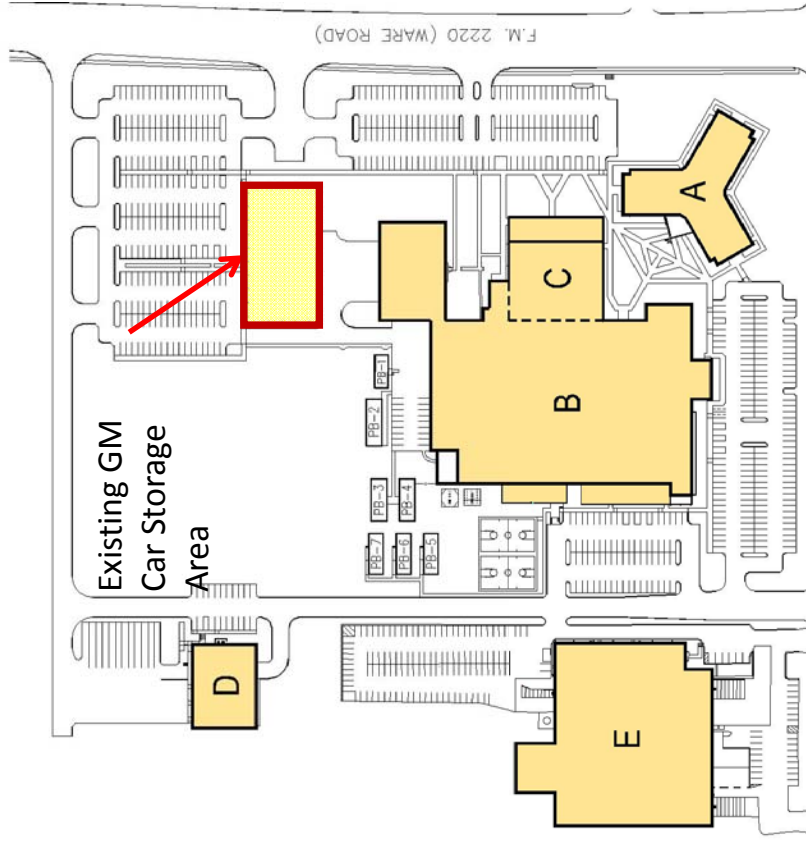
Funds are available in the FY 2015 – 2016 construction budget for design and construction of these improvements, with the final engineering fees to be negotiated.

<b>Project Budget</b>		
<b>Budget Components</b>	<b>Amount Budgeted</b>	<b>Actual Cost</b>
Design	\$11,250	Actual design fees are estimated and will be finalized during contract negotiations.
Construction	\$125,000	Actual cost will be determined after the solicitation of construction proposals.

**Enclosed Documents**

Enclosed is a site plan indicating the location of the proposed parking area.

It is requested that the Facilities Committee recommend for Board approval at the December 15, 2015 Board meeting, the contracting of civil engineering services with R. Gutierrez Engineers for the Technology Campus General Motors Vehicle Storage Lot (Non-Bond) project as presented.



Reconstruct Caliche Storage Area


 SOUTH TEXAS COLLEGE  
**TECHNOLOGY CAMPUS**


**Review and Recommend Action on Substantial Completion for Pecan Plaza  
Resurface Alley Side of Building B**

Approval of substantial completion of the Pecan Plaza Resurface Alley Side of Building B project will be requested at the December 15, 2015 Board meeting.

Halff Associates and college staff visited the site and developed a construction punch list. As a result of this site visit and observation of the completed work, a Certificate of Substantial Completion for the project was certified on November 3, 2015. Substantial Completion was accomplished within the time allowed in the Owner/Contractor agreement for this project. A copy of the Substantial Completion Certificate is attached.

Contractor 5 Star Construction will continue working on the punch list items identified and will have thirty (30) days to complete before final completion can be recommended for approval. It is anticipated that final acceptance of this project will be recommended for approval at the January 2016 Board meeting.

It is recommended that the Facilities Committee recommend for Board approval at the December 15, 2015 Board meeting, the substantial completion of the Pecan Plaza Resurface Alley Side of Building B as presented.

# AIA<sup>®</sup> Document G704<sup>™</sup> – 2000

## Certificate of Substantial Completion

**PROJECT:**  
*(Name and address):*  
Pecan Plaza Asphalt Resurfacing Along  
the Alley Side of Building B  
McAllen, Texas

**PROJECT NUMBER:** 30704/  
**CONTRACT FOR:** Site Improvements  
**CONTRACT DATE:** May 22, 2015

OWNER:   
ARCHITECT:   
CONTRACTOR:   
FIELD:   
OTHER:

**TO OWNER:**  
*(Name and address):*  
South Texas College  
3200 W. Pecan Blvd. Bdg. N, Suite 179  
McAllen, Texas 78501

**TO CONTRACTOR:**  
*(Name and address):*  
5 Star Construction  
2609 East Mile 2 Road  
Mission, Texas 78574

**PROJECT OR PORTION OF THE PROJECT DESIGNATED FOR PARTIAL OCCUPANCY OR USE SHALL INCLUDE:**

Pecan Plaza Asphalt Resurfacing Along the Alley Side of Building B

The Work performed under this Contract has been reviewed and found, to the Architect's best knowledge, information and belief, to be substantially complete. Substantial Completion is the stage in the progress of the Work when the Work or designated portion is sufficiently complete in accordance with the Contract Documents so that the Owner can occupy or utilize the Work for its intended use. The date of Substantial Completion of the Project or portion designated above is the date of issuance established by this Certificate, which is also the date of commencement of applicable warranties required by the Contract Documents, except as stated below:

**Warranty**

**Date of Commencement**

Half Associates, Inc.  
\_\_\_\_\_  
ARCHITECT

BY 

11-3-15  
\_\_\_\_\_  
DATE OF ISSUANCE

A list of items to be completed or corrected is attached hereto. The failure to include any items on such list does not alter the responsibility of the Contractor to complete all Work in accordance with the Contract Documents. Unless otherwise agreed to in writing, the date of commencement of warranties for items on the attached list will be the date of issuance of the final Certificate of Payment or the date of final payment.

**Cost estimate of Work that is incomplete or defective:** \$5,907.00 for retainage

The Contractor will complete or correct the Work on the list of items attached hereto within thirty ( 30 ) days from the above date of Substantial Completion.

5 Star Construction  
\_\_\_\_\_  
CONTRACTOR

BY 

11-13-15  
\_\_\_\_\_  
DATE

The Owner accepts the Work or designated portion as substantially complete and will assume full possession at 10:00 am (time) on November 3, 2015 (date).

South Texas College  
\_\_\_\_\_  
OWNER

BY

DATE

The responsibilities of the Owner and Contractor for security, maintenance, heat, utilities, damage to the Work and insurance shall be as follows:

*(Note: Owner's and Contractor's legal and insurance counsel should determine and review insurance requirements and coverage.)*

## **Update on Status of Non-Bond Construction Projects**

The Facilities Planning and Construction staff prepared the attached design and construction update. This update summarizes the status of each capital improvement project currently in progress. Mary Elizondo and Rick de la Garza will be present to respond to questions and address concerns of the committee.

### **Non-Bond Technology Campus Cooling Tower Replacement Project**

At the September 22, 2015 board meeting, staff was authorized to negotiate the final completion and close out of the Technology Campus Cooling Tower Replacement with Pro Tech Mechanical. A delay in the completion of this project may result in possible liquidated damages being incurred. The contractor has been working on completing all pending items needed to close out the project but a new concern has surfaced. This item could also affect the liquidated damages provision in the contract. Staff has continued to work with Half Associates and the contractor on resolving this issue. Therefore, a recommendation is not being provided at this time but an appropriate recommendation will be provided at a subsequent Facilities Committee meeting.

### **Non-Bond Relocation of Portable Buildings at the Pecan Campus**

#### **Original Plan**

At the July 28, 2015 Board meeting, the Board of Trustees approved and authorized a revised plan for relocation of Pecan Campus portable buildings. A total of 14 existing portable buildings needed to be relocated to allow for the construction of the Bond projects. Twelve of the portables are currently being relocated to the west side of Pecan Campus along the west loop road. The remaining two portables were going to be relocated to the south side of campus to replace two auctioned portables as part of the revised Board approved plan.

#### **Updated Plan**

Recently, college staff has requested the need for using two portable buildings (PB 18 and PB 19) for the Spring 2016 semester. These portables were planned to be relocated to the south side of campus to replace PB 9 and PB 10 which were going to be auctioned. This new request will relocate PB18 and PB19 to the west side of the Pecan Campus West Academic Building. This updated relocation request will require additional engineering services for the electrical and data infrastructure required for the portable buildings.

**CONSTRUCTION PROJECTS PROGRESS REPORT - November 30, 2015**

Project number	PROJECT DESCRIPTION	Project Development				Design Phase				Construction Phase				Project Manager	Architect/Engineer	Contractor					
		Project Development	Contract Negotiations	Concept Development	Schematic Approval	30%	60%	95%	100%	Solicit of Proposals	Approve Contractor	Construction Start	30%				50%	75%	95% Substantial Comp	100%	Final Completion
<b>Pecan Campus and Pecan Plaza</b>																					
15-1-002a	Pecan - Covered Area for Ceramic Arts Kilns														Robert	EGV Architects	Holchemont Ltd.				
15-1-002b	Pecan - Interior Renovation for Ceramic Arts														Robert	EGV Architects	Herron				
15-1-006	Pecan - Library Study Rooms Additions														Robert	Boullinghouse Simpson Gates Architects	TBD				
15-1-007	Pecan - Student Activities Sports Field Lighting														John	DBR Engineering	Zitro Electric				
15-1-012	Pecan - Infrastructure for Relocation of Portable Buildings														John	Melden & Hunt	Celso Construction				
15-1-013	Pecan - Relocation of Electrical Power Lines														Robert	Sigma Engineering	Metro Electric				
15-1-017	Pecan - Building K Enrollment Center														Rick	Boullinghouse Simpson Gates Architects	TBD				
15-1-020	Pecan - AECHS Service Drive and Sidewalk														John	R. Gutierrez Engineering	Roh Excavation				
16-1-041	Pecan - Removal of Existing Trees	N/A	N/A												John	TBD	TBD				
16-1-001	Pecan - Building A Sign Replacement (RR)																				
15-1-003	Pecan Plaza - Emergency Generator and Wiring														Rick	TBD	TBD				
15-1-004	Pecan Plaza - Resurfacing Back Side of Building B (RR)														Victor	Half Associates	5 Star Construction				
16-1-016	Pecan Plaza - Parking Area for Police Vehicles														John	TBD	TBD				
<b>Mid Valley Campus</b>																					
16-2-007	MV - Childcare Center Play Ground Flooring (RR)	N/A	N/A												Victor	N/A	TBD				
<b>Technology Campus</b>																					
15-3-004	TC - Building B Doors and Frame Replacement														Robert	ROFA	TBD				
15-3-014	TC - Workforce Building Conference Room														Robert	ROFA	TBD				
13-3-R002	TC - West Academic Building Re-Roofing (RR)														Robert	Amtech Building Sciences	Rio Roofing				
14-3-R004	TC - Cooling Tower Replacement (RR)														Rick	Half Associates	Pro-Tech				
<b>Nursing and Allied Health Campus</b>																					
14-4-R004	NAH - Irrigation System Upgrade (RR)	N/A	N/A												John	SSP Design	???				
16-4-004	NAH - Thermal Plant																				
<b>Starr County Campus</b>																					
15-5-005	Starr - Building E & J Crisis Mgt Center Generator																				
<b>District Wide Improvements</b>																					
14-6-010	DW - Building to Building ADA Compliance Ph II														Robert	Dannenbaum Engineering	TBD				
14-6-R012	DW - Lighting Upgrades for Parking Lots (RR)														Robert	DBR Engineering	Metro Electric				
15-6-001	DW - Outdoor Furniture	N/A	N/A												Rick	N/A					
15-6-002	DW - Directional Signage	N/A	N/A												Rick	N/A					
For FY 2015-2016, 22 non-bond projects are currently in progress, 3 has been completed and 47 pending start up - 72 Total																					

## Status of Non-Bond Construction Projects in Progress December 2015

Project	% Complete	Date to Complete	Current Activity	Budget	Contract Amount	Amount Paid	Balance
<b>Pecan Campus</b>							
Covered Area for Ceramic Arts Kilns	75%	December 2015	1. Construction Phase 2. Construction in progress	\$325,000	\$339,259	\$53,445.10	\$285,813.90
Interior Renovation for Ceramic Arts	100%	November 2015	1. Construction Phase 2. Final Completion	\$325,000	\$109,209	\$103,748.55	\$5,460.45
Library Additional Study Rooms	15%	June 2015	1. Design Phase 2. Design on hold	\$54,000	TBD	\$0	TBD
Sports Fields Lighting	75%	December 2015	1. Construction Phase 2. Construction in progress	\$200,000	\$228,000	\$173,289.50	\$55,210.50
Infrastructure for Relocation of Portable Buildings	50%	December 2015	1. Construction Phase 2. Construction in progress	\$350,000	\$414,759.06	\$125,481.66	\$289,277.44
Relocation of Electrical Power Lines	75%	December 2015	1. Construction Phase 2. Construction in progress	\$220,000	\$210,478	\$0	\$210,478
Student Services Building K Enrollment Center	30%	October 2015	3. Design Development Phase 3. Design in progress	\$30,000	\$23,125	\$4,990	\$18,135
AECHS Service Drive and Sidewalk Relocation	100%	August 2015	1. Construction Phase 2. Final Completion	\$60,000	\$49,472	\$46,998.40	\$2,473.60
Removal of Trees for Bond Construction	30%	January 2016	1. Construction Phase 2. Construction in progress	\$21,000	TBD	\$0	TBD
Building A Sign Replacement	0%	February 2016	1. Project Development 2. Design in progress	\$10,000	TBD	\$0	TBD

Project	% Complete	Date to Complete	Current Activity	Budget	Contract Amount	Amount Paid	Balance
Pecan Plaza Police Department Emergency Generator	0%	May 2016	1. Project Development 2. Work in progress	\$400,000	TBD	\$0	TBD
Pecan Plaza Asphalt Resurfacing on Alley Side	95%	November 2015	1. Construction Phase 2. Construction in progress	\$30,000	\$58,000	\$0	\$58,000
Pecan Plaza Parking Area for Police Vehicles	10%	May 2016	1. Design Phase 2. Contract Negotiations	\$250,000	TBD	\$0	TBD
<b>Mid Valley Campus</b>							
Childcare Center Play Ground Flooring	75%	December 2015	1. Construction Phase 2. Construction in progress	\$31,000	\$29,690.00	\$0	\$29,690.00
<b>Technology Campus</b>							
West Academic Building Re-roofing	75%	December 2015	1. Construction Phase 2. Construction in progress	\$1,698,900	\$1,296,000	\$929,575.00	\$366,425
HVAC Cooling Tower Replacement	95%	January 2015	1. Construction Phase 2. Construction in progress	\$415,000	\$396,000	\$361,000	\$35,000
Building B Main Door and Frame Replacement	20%	March 2016	1. Design Phase 2. Design in progress	\$7,500	\$3,750	\$0	\$3,750
Building C Conference Room Addition	20%	March 2016	1. Design Phase 2. Design in progress	\$9,600	\$4,500	\$0	\$4,500



Project	% Complete	Date to Complete	Current Activity	Budget	Contract Amount	Amount Paid	Balance
<b>Nursing and Allied Health Campus</b>							
Irrigation System upgrades	100%	October 2015	1. Construction Phase 2. Final Completion	\$30,000	\$37,767	\$35,878.63	\$1,888.37
Thermal Plant	10%	March 2016	1. Design Phase 2. Contract Negotiations	\$2,650,000	TBD	\$0	TBD
<b>Starr County Campus</b>							
Bldg E & J Crisis Management Center with Generator	0%	March 2016	1. Project Development 2. Work in progress	\$400,000	TBD	\$0	\$400,000
<b>District Wide</b>							
Building to Building ADA Accessibility Improvements Phase II	10%	October 2015	1. Construction Phase 2. Contract Negotiations	\$60,000	\$83,389.03	\$71,655.22	\$11,734.01
Parking Lots Lighting Upgrades to LED	100%	August 2015	1. Construction Phase 2. Final Completion	\$100,000	\$50,691	\$48,156.45	\$2,534.55
Directional Signage Updates	10%	December 2015	1. Project Development 2. Work in progress	\$50,000	TBD	\$0	TBD
Outdoor Furniture	50%	November 2015	1. Construction Phase 2. Material delivered	\$25,000	TBD	\$0	TBD
<b>For FY 2014-2015, 24 non-bond projects are currently in progress, 1 has been completed and 47 pending startup - 72 Total</b>							